



VILLAGE OF WHITEFISH BAY PLAN COMMISSION AGENDA

August 24, 2020 – 6:00pm

Meeting will be held at: <https://www.gotomeet.me/wfbvillage/plan-commission>

Access Code: 840-873-853

Phone Number Log In: +1 (224) 501-3412

1. Call to Order.
2. Approval of the Minutes of the Regular Meeting of June 22, 2020.
3. PUBLIC HEARING:
 - [a] On Ordinance 1871 – to amend Section 16-19 of the Municipal Code pertaining to minimum area requirements for Planned Development Districts – verbal comments will be taken during the meeting on this Public Hearing item. Alternatively, members of the public may submit written comments in advance via email to manager@wfbvillage.org at least 12 hours prior to the meeting with “Message to Plan Commission” in the subject line. Those messages will be provided to Commissioners.
4. NEW BUSINESS:
 - [a] Review and recommendation to Village Board on proposed Ordinance 1871 to amend Section 16-19 of the Municipal Code pertaining to minimum area requirements for Planned Development Districts.
 - [b] Review and recommendation to Village Board on Planned Development District (PDD) Petition to develop seven single-family homes at 721 Silver Spring Drive (Parcel 198-0037-001) (Petitioner – WiRED Properties) – verbal comments will not be taken during the meeting on this specific item. Members of the public may submit written comments in advance via email to manager@wfbvillage.org at least 12 hours prior to the meeting with “Message to Plan Commission” in the subject line. Those messages will be provided to Commissioners. Verbal comments will be taken at a future scheduled Village Board meeting during a required Public Hearing.

High Resolution Plans: <https://www.wfbvillage.org/DocumentCenter/View/1185>
5. Adjournment

Due to the COVID-19 pandemic, this meeting is being held via remote conference only. Members of the media and public may attend by logging onto <https://www.gotomeet.me/wfbvillage/plan-commission>. The access code is 840-873-853. The phone number to log in is +1 (224) 501-3412. All public participants will be muted during the meeting. **Please see specific agenda item descriptions for information on public participation.**

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. Contact Village Hall at (414) 962-6690. It is possible that members of and possibly a quorum of members of other Boards, Commissions, or Committees of the Village including in particular the Village Board may be in attendance in the above stated meeting to gather information; no action will be taken by any other Boards, Commissions, or Committees of the Village except by the Board, Commission, or Committee noticed above. Agendas and minutes are available on the Village website (www.wfbvillage.org)

Dated: August 17, 2020 – Paul Boening – Village Manager

**VILLAGE OF WHITEFISH BAY
PLAN COMMISSION MINUTES**

**June 22, 2020 – 6:00pm
Whitefish Bay Village Hall
5300 N. Marlborough Dr., Whitefish Bay, WI 53217**

1. Call to Order.

President Siegel called the meeting to order at 6:00 pm.

Present: President Siegel, Trustee Fuda, Commissioners Moore, Sauer, Roth, and Koltun.

Also Present: Village Manager Paul Boening, Assistant Village Manager Tim Blakeslee and Village Attorney Chris Jaekels.

2. Approval of the Minutes of the Regular Meeting of February 24, 2020.

Commissioner Moore moved, seconded by Trustee Fuda to approve the minutes of the regular meeting of February 24, 2020. Motion Carried, 6-0.

3. PUBLIC HEARINGS

- a. **On Ordinance 1864 – pertaining to Conditional Uses in the Business District.**
- b. **On Ordinance 1865 – pertaining to Conditional Use Procedure.**
- c. **On Ordinance 1868 – to repeal and recreate Section 16-31 of the Municipal Code with regard to maintaining or eliminating nonconforming or substandard lots.**
- d. **On Conditional Use Application for Edward Jones (Financial Advisors) at 829 E. Henry Clay St.**
- e. **On Conditional Use Application for Red Element, LLC (DBA Mathnasium Whitefish Bay) at 423 E. Silver Spring Dr.**

There were no public comments. President Siegel Closed the Public Hearing portion of the meeting at 6:01pm.

4. NEW BUSINESS

With the consent of the Commission, President Siegel moved item e forward on the agenda.

e. Review and action on Conditional Use Application for Red Element, LLC (DBA Mathnasium Whitefish Bay) at 423 E. Silver Spring Dr.

Assistant Village Manager Blakeslee explained that Mathnasium was seeking approval to move to the former “Regina’s Bay Bakery” space. Commissioner Sauer questioned the length of the lease agreement. Business owner Rohita Shah stated that the new lease would be for five years.

Commissioner Moore moved, seconded by Commissioner Roth to approve the Conditional Use Permit Application for Red Element, LLC (DBA Mathnasium Whitefish Bay) subject to all aforementioned conditions, including the waiver of the parking space requirements, provisions of Section § 16-16 of the Municipal Code, and subject to the following additional conditions:

- *Given the close proximity to residential development, deliveries to the south side of the*

building shall be prohibited between the hours of 10:00 pm and 6:00 am.

- *The business shall be permitted to utilize full hours of operation as permitted by Whitefish Bay's Municipal Code.*

Motion Carried, 6-0.

a. Review and recommendation to Village Board on proposed Ordinance 1864 to the Plan Commission (pertaining to Conditional Uses in the Business District).

b. Review and recommendation to Village Board on proposed Ordinance 1865 to the Plan Commission (pertaining to Conditional Use Procedure).

c. Review and recommendation to Village Board on proposed Ordinance No. 1868 – to repeal and recreate Section 16-31 of the Municipal Code with regard to maintaining or eliminating nonconforming or substandard lots.

Attorney Jaekels summarized the Ordinances referenced in items a-c above. Discussion followed.

Trustee Fuda moved, seconded by Commissioner Roth to recommend that the Village Board adopt Ordinances 1864, 1865 and 1868. Motion Carried, 6-0.

d. Review and action on Conditional Use Application for Edward Jones (Financial Advisors) at 829 E. Henry Clay St.

Assistant Village Manager Blakeslee provided a summary of the staff memo. Discussion followed.

Commissioner Sauer moved, seconded by Roth to approve the Conditional Use Permit Application for Edwards Jones at 829 E. Henry Clay St subject to all aforementioned conditions, including the waiver of the parking space requirements, provisions of § 16-21F(1)(b)(3) of the Municipal Code, and subject to the following additional condition:

- *Given the close proximity to residential development, deliveries to the building shall be prohibited between the hours of 10:00 pm and 6:00 am.*

Motion Carried, 6-0.

5. Adjournment

Trustee Fuda moved, seconded by Commissioner Roth to adjourn the meeting at 6:13pm. Motion Carried, 6-0.

Respectfully Submitted,
Paul Boening – Village Manager



VILLAGE BOARD MEETING STAFF REPORT

REPORT TO: Plan Commission

REPORT FROM: Paul Boening – Village Manager

AGENDA ITEM: Review and recommendation to Village Board on proposed Ordinance 1871 to amend Section 16-19 of the Municipal Code pertaining to minimum area requirements for Planned Development Districts.

ACTION REQUESTED: Ordinance Resolution Motion Information Only

BACKGROUND

In June of this year, Brandt Foster of Foster Capital contacted me to request a meeting to discuss a potential redevelopment concept involving two existing properties on E. Silver Spring Dr. Following subsequent discussions with Village Staff, Mr. Foster and his development partner, Thomas Baade of Catalyst Construction decided to submit a formal request for a Zoning Code amendment. Specifically, they determined that the Village's Planned Development District (PDD) would be the preferred zoning designation for the project. A PDD authorizes the Village Board to consider modifications to zoning requirements that are otherwise not afforded in base zoning districts.

The formal request for a Zoning Code amendment is attached. In most cases, a minimum land area of 50,000 square feet is required for a PDD. However, there are several exceptions in Village Code that permit the minimum land area of a PDD to be 25,000 square feet. The exceptions to the minimum area of a PDD as listed in §16-19B(2) are as follows:

- [a] When undertaken in extension of an adjoining planned development area in which case there shall be no minimum area requirement;
- [b] When the extension of a planned development area extends across a public street or alley, the minimum area across the public street or alley shall be 25,000 square feet; or
- [c] When undertaken in an area adjacent to an area zoned for public building and grounds, the minimum area shall be 25,000 square feet and the area may be separated by a public street.

Mr. Baade is asking the Village to add an additional exemption to Section 16-19 to allow a land area of 25,000 when a PDD is undertaken in an area adjacent to an area zoned for planned development. Given the existence of an existing PDD (Beaumont Place) adjacent to the proposed development site, a Code amendment would enable the applicants to submit a PDD petition.

The Village Board reviewed the request on August 3, 2020 and took action to forward the attached DRAFT ordinance to the Plan Commission for review and recommendation, which is required before the Village Board may take action on a Zoning Code amendment.

Recommended Action by Plan Commission

To review the attached DRAFT ordinance and to forward a recommendation to the Village Board.



July 24th, 2020

Mr. Paul Boening
Village Manager
Village of Whitefish Bay
5300 N. Marlborough Dr.
Whitefish Bay, WI 53217

Re: Request for Planned Development District Zoning Amendment

Paul and Village Board,

Thank you reviewing our request of an amendment to the qualification for application to a Planned Development District. Catalyst Development and Foster Capital as co-developers are currently under contract to acquire 412-424 Silver Spring Drive (commonly known as the Fitzgerald's Building). The contemplated acquisition would enable a redevelopment of the site into a first-class mixed-use development with a mixture of apartments, retail, and parking. The proposed development will include structured underground parking, first level retail and apartments over the retail. The proposed redevelopment will:

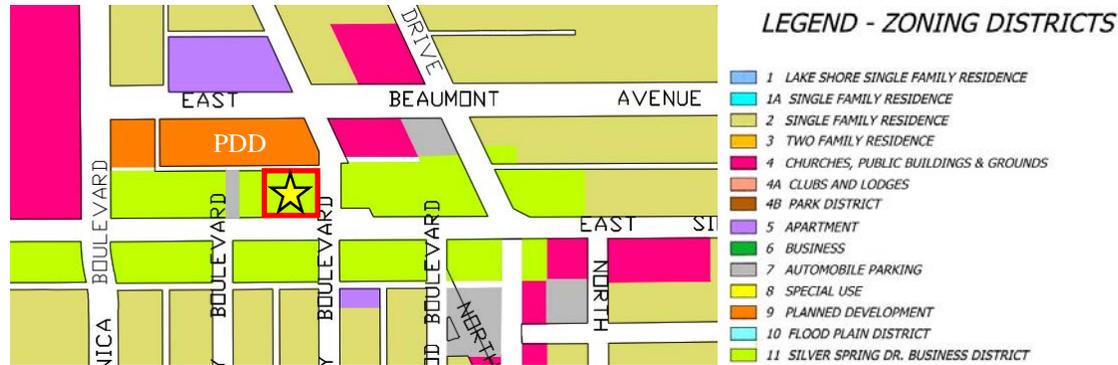
- Enhance the Silver Spring district with fresh retail space, additional parking, and additional demand for retailers from the future tenants
- Redevelop and repurpose one of the most prominent and influential blocks in Whitefish Bay, with responsible architecture and design that maintains the integrity of the Whitefish Bay neighborhood and the Silver Spring business district
- Create a residential alternative for Whitefish Bay residents aging out of their life-long homes, but desire to remain living within the Village
- Remain consistent with neighborhood scale while adapting to modern patterns of development
- Generate long-term incremental tax revenue, significantly above the existing valuations

In order to maximize the design and development opportunities it would be advantageous to apply the PDD process of the Whitefish Bay zoning code. The minimum area for application to a PDD is 50,000 square feet without a qualifying exception. The combined parcels of 412 – 424 Silver Spring Drive are .601 acres, or 26,180 square feet, which is below the minimum area for application of the Planned Development District without a qualifying exception.

We are requesting an amendment to the zoning code that will allow a qualifying exception to the PDD process for parcels smaller than 50,000 square feet if the parcel is adjacent to a currently existing PDD development and is located in the Silver Spring Business district. There currently is a qualifying exception for parcels smaller than 50,000 square feet to be developed under the PDD – if the parcel is adjacent to a parcel designated for the public good.

There is a PDD development to the north of our site, The Beaumont Apartments, additionally it is anticipated that the Sendiks parcel to the east of our site may also be redeveloped through the PDD process. The PDD process allows increased input from the community, greater freedom for design expression and the potential to maximize the value of the parcel.

See current zoning map (2/7/2018) with the subject site noted with a star below:



The Silver Spring corridor in Whitefish Bay is truly historic and a gem of the Milwaukee area. The charm and character of the district are unique to the region and a driver for the desirability of residential living in Whitefish Bay. The character of the district must be maintained for generations to come and we have that sentiment at the utmost of mind when considering a redevelopment along this corridor. The zoning amendment change to allow for a PPD development on our site will provide us and the community the broadest opportunity and design freedom to assure the anticipated development maximizes its opportunities.

Currently, 412-424 Silver Spring is an ~11,000 square foot 1-story retail building built in 1954. The façade, retail bays (depth and functionality), and parking constraints make the building functionally obsolete. In our view, unless a re-creation is executed, maintaining a strong retail contribution to the district will be challenging over the long-term horizon. It is worth noting that there are currently 7 retail bays vacant with nearly 16,000 square feet of space available along E. Silver Spring Drive. 430 Silver Spring is an ~7,000 square foot building built in 1960. Associated Bank has made this location their Whitefish Bay home for many years. They would like to upgrade the space and renovate the building, but that hasn't been economically feasible until this opportunity. Associated Bank is an active partner in the redevelopment and will be the anchor retail space for the mixed-use development, maintaining their Whitefish Bay presence.

Catalyst Construction and Development has been developing and constructing projects in the Milwaukee since 2004. The firm has completed several million square feet of projects with expertise in a broad spectrum of commercial uses. Catalyst has built several mixed-use residential projects of similar scale in various Milwaukee area communities over the past decade with an appreciation of the importance of the unique characteristics of each Milwaukee neighborhood.

The principal of Foster Capital, Brandt Foster, is a past resident of Whitefish Bay and lived in the community for nearly a decade, owning a home in Whitefish Bay from 2011 until 2019. Brandt and his wife spent time raising their family in Whitefish and enjoying the Silver Spring business corridor. Their time in Whitefish Bay allowed Brandt to develop an appreciation of the Whitefish Bay community and a desire to continue to improve the community. Brandt is an experienced Real Estate Financier, with participation and responsibility for over \$1 Billion of developments, loans, and acquisitions in all property types across the United States.

We look forward to discussing this new opportunity with the Planning Commission, Village Board, and Community Stakeholders in the coming weeks.

Respectfully,

Catalyst

Thomas Baade
Vice President – Project Development
Catalyst

Catalyst
833 East Michigan, Suite 1000
Milwaukee, WI, 53202

414-727-6840 - Office

Cc: Brandt Foster, Foster Capital

ORDINANCE NO: 1871

An Ordinance to Repeal and Recreate Section 16-19 of the Municipal Code with Regard to Minimum Area Requirements for Planned Development Districts

The Village Board of the Village of Whitefish Bay, Milwaukee County, Wisconsin does ordain as follows:

Section One: Section 16-19B(2)(C) of the Municipal Code is hereby repealed and recreated to read as follows:

(c) When undertaken in an area adjacent to an area zoned for public buildings and grounds or planned development, the minimum area shall be 25,000 square feet and the area may be separated by a public street or alley.

Section Two: All ordinances or parts of ordinances conflicting with the provisions of this Ordinance are hereby and to such extent repealed.

Section Three: This ordinance shall take effect and be in force from and after its passage and posting.

PASSED AND ADOPTED by the Village Board of Trustees of the Village of Whitefish Bay this ___ day of _____, 2020.

VILLAGE OF WHITEFISH BAY

Julie Siegel, Village President

Jaimie Krueger, Village Clerk

**VILLAGE OF WHITEFISH BAY
PLAN COMMISSION PUBLIC HEARING NOTICE**

PLEASE TAKE NOTICE that the Plan Commission of the Village of Whitefish Bay has scheduled a Public Hearing for **Monday, August 24, 2020** at **6:00 P.M.**, to be held via GoToMeeting: <https://www.gotomeet.me/wfbvillage/plan-commission>. You can also dial in using your phone: United States: +1 (224) 501-3412 - Access Code: 840-873-853.

1. Public Hearing on the following proposed Ordinance:

- A) *Ordinance No. 1871* – to amend Section 16-19 of the Municipal Code pertaining to minimum area requirements for Planned Development Districts.

ALL INTERESTED PERSONS will be given an opportunity to be heard. If you have any questions, please contact Tim Blakeslee, Assistant Village Manager, 414-962-6690.

A majority of the members of other governmental bodies, including, but not limited to the Village Board may be present to gather information about a subject over which they may have decision making responsibility. The above meeting is therefore hereby also noticed as a meeting of those governmental bodies, although they will not take any formal action at this meeting.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals.

VILLAGE OF WHITEFISH BAY

Tim Blakeslee
Assistant Village Manager



collaborate / formulate / innovate

MEMORANDUM

TO: President Siegel and the Village of Whitefish Bay Plan Commission

Copies to: Paul Boening, Village Manager
Tim Blakeslee, Assistant Village Manager

FROM: GRAEF

DATE: August 21, 2020

SUBJECT: Review of the following in preparation for the meeting with the Plan Commission:

- 1) WIRED Properties (Blair W. Williams, President) is submitting a petition for a change in zoning to a Planned Development District for the property located at 721 E. Silver Spring Drive. See Figures 1 and 4.



Figure 1. View of 721 E. Silver Spring Drive looking west. Subject property shown dashed. Source: Pictometry.

I. BACKGROUND

Blair Williams of WIRED Properties submitted a petition for rezoning the property located at 721 E. Silver Spring Drive (tax key # 1980037001) from its current zoning (District 4 & District 7) to that of Planned Development District. The proposed rezoning will enable the development of seven single family homes to replace what is now a vacant place of worship. Blair Williams and the Village Plan Commission have reviewed the proposed development plans in a Pre-petition Conference (November 2019), and the proposed development received feedback from the Village Architectural Review Commission (August 2020). Section VII of this report addresses the recommendations from the Architectural Review Commission. This petition for rezoning represents the second step in the procedures for a Planned Development District, as outlined by Section 16-19(c) of the Village Zoning Code.

A Planned Development District is a means to facilitate desirable development while affording flexibility with land use and development standards. The purpose, as stated in the Village Zoning Ordinance, is as follows:

“The purpose of the Planned Development District is to encourage and provide a means for effectuating desirable development, redevelopment, rehabilitation and conservation in the Village of Whitefish Bay by allowing for greater flexibility, better utilization of topographical and natural site characteristics, more economical and stable development and variations in siting, land use and types of dwellings and commercial buildings, thereby promoting the public health, safety, welfare and morals.” (16-18 A.)

The PDD zoning district permits all uses which are permitted in Chapter 16 (Zoning) of the Village Code. Further, the standards for development—such as land coverage, density, setbacks, building heights—are established by the Plan Commission and Village Board when the proposed development is found to be in concert with desirable development.

The existing site is 0.8948 acres (38,979 SF), per the submitted Plat of Survey with Topography. According to the submitted site plan, the intended use is single family residential and illustrates seven single family homes.

II. EXISTING ZONING AND LAND USE

Current use: Place of worship. Site contains a principal structure (church) and a parking lot. At present, the Village maintains a lease agreement with the church for the western 19 of the 51 parking spaces for 10 hour parking to occur by permit, except on Sundays.

Current zoning: Two separate portions of the parcel are zoned “District 4 - Churches, Public Buildings & Grounds” and a portion is zoned “District 7 - Automobile Parking.” See Figure 2.

Current assessed value: \$0

Current uses and zoning of adjacent properties:

- Immediately to the west adjacent to the subject site: zoned “11 – Silver Spring Dr. Business District;” commercial land use
- Across E. Silver Spring Drive to the north: zoned “11 – Silver Spring Dr. Business District” and “2 – Single Family Residence;” mix of multi-family residential, commercial, and single family residential land uses
- Across N. Danbury Road to the east: “4 – Churches, Public Buildings & Grounds” and “2 – Single Family Residence;” religious and single family land uses
- Across E. Glen Avenue to the south: “4 – Churches, Public Buildings & Grounds” and “2 – Single Family Residence;” single family land use
- Across N. Marlborough Drive to the west: “11 – Silver Spring Dr. Business District” and “7 – Automobile Parking;” commercial and automobile parking land uses

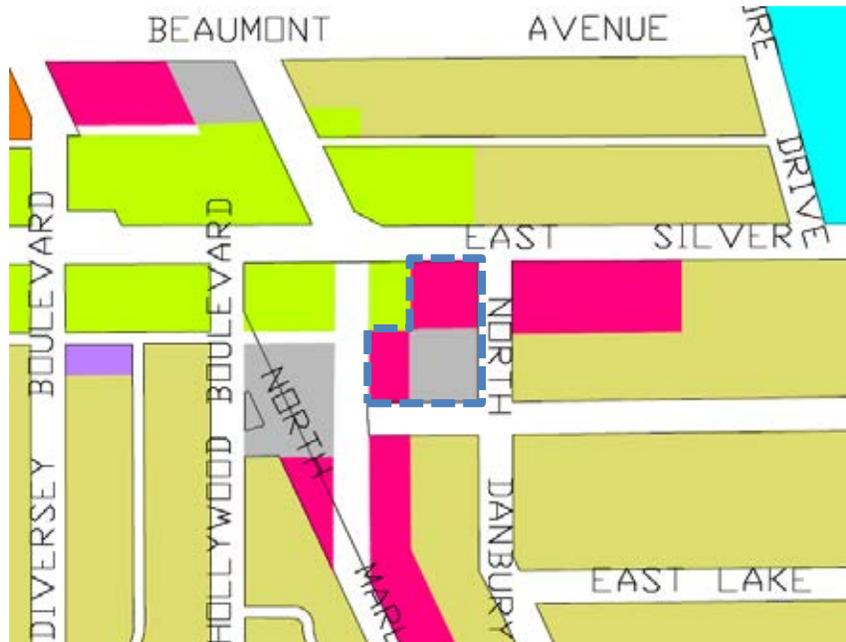


Figure 2: Existing Zoning Map. Subject property shown dashed. Source: Village Zoning Map as of 2/7/2018.

III. PROPOSED CONCEPT ZONING AND LAND USE

Proposed use: Single family residential

Proposed zoning: Planned Development District (PDD)

Proposed estimated value: ~ \$8,750,000

IV. PROPOSED CONCEPT SITE CONSIDERATIONS

Density: The proposed concept plan illustrates 7 units on 0.8948 acres, or 7.8 units per acre. The 4 homes along E. Glen Avenue are sited on 191 feet of street frontage and 0.5 acres. As a comparison, along E. Glen Avenue just east of N. Danbury Road, 4 houses comprise similar street frontage (200 feet) and area (.5 acres). *Note: calculations and dimensions are approximate. Source: Milwaukee County GIS.*

Site Access: Site access is proposed at two locations: along E. Silver Spring Drive (new), and midblock along N. Danbury Road (relocated). The access along E. Silver Spring Drive is not aligned with the driveway access of the 5600 N. Lake Drive building (across the street to the north) and it would not be feasible to align the driveways. Review by the Village Engineer would be warranted to determine the feasibility of this new access point. Three existing access points along E. Glen Avenue have been eliminated. Alley access is proposed, and is indicated on the submitted site plan as private (i.e. not a public right-of-way).

Green Space: Existing green space on the site is limited to a planting edge encircling the parking lot and an area of picturesque lawn and trees within the setback area along E. Silver Spring Drive and N. Danbury Road. Outside of the perimeter planting, the parking lot itself is devoid of trees or planting (see Figure 3). The materials submitted with this Application indicate that the proposed development will substantially increase the landscaping to the property to a green space percentage of 35% (an increase of 16% over existing site). The proposed landscaping includes the following:

- 5 additional perimeter trees adjacent to the sidewalk (14 trees presently exist)
- 7 "interior" ornamental trees (located interior to the boundaries of the sidewalk)
- A plethora of new shrubs, ornamental grasses, and herbaceous perennials, located both within the property and along the facades of each of the single family homes (see plans for more details)

Water, Sewer, Stormwater: The existing survey submitted indicates water, sanitary and storm within E. Silver Spring Drive and E. Glen Avenue, and water and sewer in N. Danbury Road. No on-site stormwater management is proposed for the development. The Applicant has indicated that no stormwater management is required by the Village, MMSD, nor WDNR, as the site plan reduces the amount of impervious area and is under 1-acre of disturbance.



Figure 3: View of 721 E. Silver Spring Drive looking northeast from E. Glen Avenue. Source: GRAEF.

V. PROPOSED CONCEPT ALIGNMENT WITH PLANNING DOCUMENTS

Silver Spring Drive Master Plan Update: The subject property is at the far eastern edge of the 2016 Silver Spring Drive Master Plan Update study area. The vision of the plan is stated as “A Silver Spring Drive that is a vibrant, business-friendly, family-oriented and walkable village.” In addition, the document’s major opportunities center on increasing density in the district, including residential uses. This proposal is an opportunity to partner with the developers to make improvements that are mutually beneficial in the district and raises the appeal and desirability of the entire district (Silver Spring Drive Master Plan Update, Recommendations & Implementation 5.6.3).

The Silver Spring Master Plan Update outlines aspirational elements that the Village would like to encourage in this planning area – these elements are referenced in Section IX below.

Comprehensive Plan: The 2019 Comprehensive Plan Update forecasts new residential development occurring largely as infill, and envisions the majority of such development taking the form of small lot traditional neighborhoods and mixed-use traditional neighborhoods. This Plan also stresses the importance of introducing a variety of housing types to satisfy differing income levels and housing preferences. The proposed concept advances the spirit of this vision, as it offers a new housing type to the Village that is compatible with the densities of small lot traditional and mixed-use traditional neighborhoods. This Plan also stresses the importance of maintaining Whitefish Bay's reputation as a walkable and bikeable destination. The proposed concept advances the spirit of this goal by including front entrances and stoops along the street edge, which allows for social interaction in the neighborhood and supports the walkable character of the community.

The 2019 Comprehensive Plan Update outlines aspirational elements that the Village would like to encourage for new development – these elements are referenced in Section IX below.

VI. CONCLUSION

Based on a review of the current surrounding context and the current adopted planning documents, the proposed concept is in concert with the vision for the downtown district. The development is similar in nature to the uses, character, and density of development within the immediate area and the broader Silver Spring Drive district. While of a higher density than most single family residential neighborhoods within the village, it is a lower density than most multi-family developments. The proposal provides an opportunity for middle-density housing, which complements the character of the village and brings to the market an expansion of housing choice. The layout of the site as envisioned is in keeping with the setbacks and walkable character found in the commercial district and transitions to nearby lower-density residential areas. Building heights are each two stories, which is consistent with building heights in the adjacent neighborhoods.

VII. PROPOSED CONCEPT ALIGNMENT WITH VILLAGE ARCHITECTURAL REVIEW COMMISSION

The Village Architectural Review Commission reviewed the proposed development on August 6, 2020 and submitted the following recommendations:

1. *“Architectural site plan to better address the Silver Spring frontage as every other property along Silver Spring treats Silver Spring as their front door.*
2. *Address materiality on corners and how the property development handles corners on N. Marlborough and E. Glenn in addition to the corner of E. Glen and N. Danbury.*
3. *Address window alignment to adjacent properties so they don't line up with each other.*

4. *Conduct traffic study and consider adding stop signs at intersection of E. Glenn & N. Danbury and alley exit of development.*
5. *Chimney material to be more natural material consistent with exterior materials of proposed development.*
6. *Incorporate natural materials on properties with an emphasis on E. Silver Spring, N. Danbury and N. Marlborough."*

In response to these recommendations, the Applicant submitted a response letter and three updated renderings showing the NE corner view, the SE corner view, and the SW corner view of the proposed development. The commentary and renderings appear to address the concerns of the recommendations of the Architectural Review Commission, as outlined below:

1. The materiality of the northern façade of the building along the Silver Spring frontage will be constructed using bricks.
2. The side-facades of the buildings at the other corner locations (N. Marlborough and E. Glenn; E. Glenn and N. Danbury) will be constructed using bricks.
3. The chimneys will be constructed using more natural materials (longboard instead of metal).
4. Natural materials will be featured more prominently on properties along E. Silver Spring, N. Danbury, and N. Marlborough.

In addition to these renderings, the Applicant submitted a response letter (August 2020) that responds directly to the recommendations of the Architectural Review Commission. In that letter, the Applicant indicates that they will support the Village's decisions regarding whether to add stop signs or other traffic calming measures at the intersections identified by the Architectural Review Commission. In response to the request to adjust the window alignment, the Applicant indicates that they believe the proposed alignment is appropriate and that the buildings were designed with full contemplation of how they address each other.

Updated plans that reflect the above changes were submitted on August 18, 2020.

VIII. COMPLIANCE WITH VILLAGE OF WHITEFISH BAY PDD REQUIREMENTS

As mentioned above, a Planned Development District is a means to facilitate desirable development while affording flexibility with land use and development standards. The purpose, as stated in the Village Zoning Ordinance, is as follows:

"The purpose of the Planned Development District is to encourage and provide a means for effectuating desirable development, redevelopment, rehabilitation and conservation in the Village of Whitefish Bay by allowing for greater flexibility, better utilization of topographical and natural

site characteristics, more economical and stable development and variations in siting, land use and types of dwellings and commercial buildings, thereby promoting the public health, safety, welfare and morals.” (16-18 A.)

The site development standards for a PDD district are flexible so long as they are in concert with the desirable development in the district. While the development standards are flexible for a PDD, there are two general requirements for a proposed PDD, as outlined in Section 16-19B of the Village Zoning Code.

1. Uses permitted: The proposed use (single family residence) is a permitted use within Chapter 16 of the Village Code - *COMPLIANT*
2. Area: The proposed PDD is approximately 39,979 square feet and is adjacent to an area zoned for public buildings and grounds - *COMPLIANT*

In addition to these general requirements, the following items are required as part of the PDD submittal:

- a. Compliance with the Comprehensive Plan and applicable planning documents
 - i. Density calculations—*RECEIVED (page 2 of PDD Petition)*
 - ii. Summary of the value of structures—*RECEIVED (page 2 of PDD Petition)*
 - iii. Departures from the standards for development in the zoning ordinance—*RECEIVED (page 6 of PDD Petition) **See Below***
 - iv. Date of commencement of physical development—*RECEIVED (page 3 of PDD Petition)*
- b. Submission requirements:
 - i. Plat of survey by registered surveyor—*RECEIVED (page 12 of PDD Petition)*
 - ii. Plot plan, showing all existing structures or features, and if to remain or be demolished—*RECEIVED (page 11 of PDD Petition)*
 - iii. Plan showing existing land uses and development within 300 feet—*general description delivered within written statement of planned development, but no plan drawing submitted.*
 - iv. Plan showing sanitary water and storm; location of roads; location of public use open space areas—*RECEIVED (page 8 of PDD Petition)*
 - v. Topographic map (2-foot intervals)—*RECEIVED (page 9 of PDD Petition)*
 - vi. Architectural plans, elevations and perspective drawings and sketches—*RECEIVED (pages 4, 18-29 of PDD Petition)*

- vii. Landscape plan (includes fences, signs, lighting, plantings, screening for off-street parking)—*RECEIVED (pages 14-17 of PDD Petition)*
- viii. Statement of phases, *if applicable*—*RECEIVED (page 3 of PDD Petition)*
- ix. Statement of proposed changes to locations or levels of streets or alleys, *if applicable*—*not received*
- x. Location and type of drives, parking, and loading areas, and screening—*RECEIVED (page 6 of PDD Petition)*

Departures from the Standards for Development in the Zoning Ordinance

Page 6 of the PDD Petition lists the departures of the proposed PDD development standards from the requirements of Village’s Zoning Ordinance. A comparison of the proposed standards for development to the base requirements of the Zoning Code is below (the departures are in bold and italic typeface):

- A. Minimum Lot Size:
 - o Proposed for PDD: 4862 SF
 - o Base Requirement: 4800 SF
- B. Minimum Street Frontage:
 - o Proposed for PDD: 40.67 SF
 - o Base Requirement: 40.00 SF
- C. ***Maximum Dwelling to Lot Ratio:***
 - o ***Proposed for PDD: 51.4%***
 - o ***Base Requirement: 30%***
- D. Minimum Dwelling Volume:
 - o Proposed for PDD: 41,654 CF
 - o Base Requirement: 17,500 CF
- E. Minimum Corner Lot Depth:
 - o Proposed for PDD: 120 FT
 - o Base Requirement: 120 FT
- F. Max Building Height:
 - o Proposed for PDD: 31.33 FT
 - o Base Requirement: 35 FT
- G. ***Front Yard Setback (Silver Spring Drive):***
 - o ***Proposed for PDD: 1.66 FT***
 - o ***Base Requirement: 25 FT***

H. Front Yard Setback (Glen Avenue):

- Proposed for PDD: 5.1 FT
- Base Requirement: 25 FT

I. Side Yard Setback (Danbury Avenue):

- Proposed for PDD: 2 FT
- Base Requirement: 8 Ft

J. Side Yard Setback (Marlborough Avenue):

- Proposed for PDD: 12 FT
- Base Requirement: 10 Ft

K. Rear Alley Setback:

- Proposed for PDD: 3.66 FT
- Base Requirement: 5 FT (10 FT to garage with living space above)

L. Max Fencing Height:

- Proposed for PDD: 6-FT cedar fence (along interior property line; sideyard)
- Base Requirement: 4.16 FT



Figure 4: View of 721 E. Silver Spring Drive looking north. Subject property shown dashed. Source: Pictometry.

IX. ADDITIONAL CONSIDERATIONS

The rezoning to a Planned Development District affords the Village opportunity to consider additional requirements that would foster a desirable environment and promote the intended purpose of the district.

“Standards for land area per dwelling unit, land coverage by building, density, front, side and rear yard setback requirements, building height requirements, parking requirements, aesthetic consideration and other requirements deemed necessary shall be established by the Village Plan Commission and the Village Board when these bodies find that such standards encourage a desirable environment and promote the intended purpose of the district.” (16-19B)

To this end, it is recommended that the Plan Commission consider the following items as they evaluate the proposed Planned Development District:

A. *Potential Need for a Traffic Impact Study*

The review from the Architectural Review Commission included a recommendation that a traffic study be conducted to understand the potential traffic impact that the seven single family homes would have. It is our opinion that such a study is probably not necessary. It is unlikely that the seven homes would have a significant impact on the traffic in the downtown and adjacent neighborhoods – even if every residence generated one trip per hour, that would result in an increase in traffic of only seven cars every hour.

B. *Stop Signs and/or Traffic Calming in the Alley*

The review from the Architectural Review Commission included a recommendation that stop signs and/or traffic calming measures be added in the private alleys. According to the site plan submitted with this application, there are two stop signs proposed – one at each alley exit. It is our opinion that additional traffic calming measures, such as speed tables or speed cushions, should also be considered at each alley exit. As the buildings are located closer to the adjacent streets, the sightlines of those existing the alleys would be reduced – speed tables or speed cushions would ensure that existing drivers would be exiting at an appropriate speed.

C. *Stormwater Management*

While the proposed development does not trigger any of the stormwater requirements of the Village, WDNR, or MMSD, the Plan Commission still might consider the opportunity to introduce stormwater management techniques on the property. Such techniques might include adding permeable pavers to the private alley, vegetated filter strips, or even rain

barrels. It is recommended that the Plan Commission consider discussing stormwater management opportunities with the Village Engineer to determine what techniques might be reasonably implemented on this site.

D. Aspirational Elements from the Silver Spring Drive Master Plan Update

The Silver Spring Drive Master Plan Update includes recommendations and goals that might be considered in evaluating the proposed Planned Development District, as outlined below:

- *“Require new development projects to clearly depict the features that will make Silver Spring Drive a more effective public place” (5.2.1)*
- *“Conduct additional pedestrian safety / traffic flow studies for Silver Spring Drive and alleys servicing the planning area...maximize pedestrian safety by incorporating more traffic calming measures along Silver Spring Drive, with special emphasis on the area between N Santa Monica Boulevard and N Lake Drive.” (5.4.1)*
- *“Look for additional opportunities to support bicycle users along Silver Spring Drive.” (5.4.4)*

In light of the above, Plan Commission might consider the following:

- requiring that traffic calming measures be employed in the alleys (as described above);
- requiring that the developer finance the installation of bicycle racks adjacent to the sidewalks along Silver Spring Drive; and,
- requiring that enhanced landscaping and/or public art be installed along Silver Spring Drive.

E. Aspirational Elements from the 2019 Comprehensive Plan Update

The 2019 Comprehensive Plan Update includes recommendations and goals that might be considered in evaluating the proposed Planned Development District, as outlined below:

- *“Consider infusing sustainability and resilience goals into residential design standards” (Housing, 2A)*
- *“Encourage participation in solar ‘group buys’ to enable local residents to utilize solar power” (Housing, 3B)*
- *“Encourage private property owners to install a pre-approved list of rare plant species in landscaped areas” (Land Use and Natural Resources, 3B)*

- *“As asphalt and concrete surfaces in the public realm come due for replacement, consider installing permeable pavement or porous asphalt” (Circulation, 2C)*
- *“Improve energy efficiency and reduce energy consumption by considering efficiency standards in design approval of all new buildings in Whitefish Bay” (TBL, Resilience, Culture, 1A)*

In light of the above, Plan Commission might consider the following:

- requiring that the development feature solar panels, green roofs, or other sustainable design techniques;
- requiring that all new landscaping on the property feature rare, native plant species to increase the biodiversity and long-term resilience of Whitefish Bay;
- requiring that the private alley feature permeable pavement or porous asphalt; and,
- requiring that the homes be designed/constructed in accordance with LEED recommendations for residential infill development, or an equivalent sustainable development rating system.

X. PLAN COMMISSION OPTIONS

The Plan Commission has a set of options for making a motion in response to the proposed Planned Development District, which generally include the following:

- A. Recommend approval, subject to conditions (if any)
- B. Recommend denial
- C. Recommend tabling, pending receipt of additional details, information, and clarifications

Below are possible conditions that the Plan Commission might consider that could be attached to a recommended approval:

1. The property be subdivided into private lots in accordance with the regulations of Title 12: Subdivision Regulations.
2. Traffic calming measures, such as speed tables or speed cushions, be added to the alley exits.
3. Stormwater management techniques be installed in accordance with the recommendations of the Village Engineer, such as rain barrels, permeable pavement or porous asphalt.
4. The applicant pays for the installation of bicycle racks, enhanced landscape, and/or public art adjacent to the sidewalks along Silver Spring Drive.
5. The homes be designed using sustainable design techniques, such as solar panels or green roofs
6. The homes be designed/constructed in accordance with LEED recommendations for residential infill development, or an equivalent sustainable development rating system.

7. All new landscaping feature rare, native plant species.
8. The applicant complies with all recommendations made by the Village Engineer, as outlined in his memo dated August 19, 2020.

Village of Whitefish Bay Public Works Department

155 W. Fairmount Ave – Whitefish Bay, Wisconsin 53217

(414) 962-6690 ext 114

Reviewer: John Edlebeck, P.E.
Village of Whitefish Bay Director of Public Works

Date: August 19, 2020

Re: **WIRED DANBURY GLEN Subdivision**

Whitefish Bay, Wisconsin

Blair Williams

Consortium ae, Milwaukee, WI

Harwood Engineering Consultants, Milwaukee, WI

- Plan set dated June 23, 2020 - submitted and received July 6, 2020
- Reviewed July 31, 2020
- Plan set dated August 19, 2020 – submitted and received August 18, 2020
- Reviewed August 19, 2020

Page C1.11

1. All existing curb and gutter on Glen Avenue and Danbury Road adjacent to the subdivision should be shown to be removed and replaced. Over 75% of the existing curb and gutter is currently proposed to be removed for utility work, ADA sidewalk ramp replacement, driveway apron abandonment and new driveway apron construction. This will then restore adequate gutter drainage on both streets.
2. You are proposing to construct 15 utility trenches into the existing pavement on Glen Avenue and Danbury Road. This does not include any additional private storm sewer laterals constructed into the pavement that may be needed (see item #10 below). In addition, the existing curb and gutter will be removed and replaced along Glen Avenue and Danbury Road. A slurry backfill pavement restoration for the 15 proposed utility trenches and a full depth asphalt or concrete pavement repair along the entire length of the curb and gutter removal is acceptable. Following this construction, a full pavement width 2" mill and overlay would then be required to be completed by the developer to restore the pavement surface.
3. Storm water quality best management practices should be provided. Pervious paver system in alley, rain gardens at roof drain discharges, biofilter swale, etc....
4. The proposed private entrance steps to the houses are shown to be located on public right of way on the both streets. This to be allowed through an agreed upon legal document.
5. Lot addresses should be shown on the plans. Village Director of Building Services to review and assign lot addresses.

6. Current Village refuse / recycling trucks will need to be able to make the turn in the alley to be able to collect in the alley. A correct vehicle turning radius template will need to be shown in the plan.
7. A right out only directional pavement island is needed on the north end of the alley to prevent a left turning exiting or left/ right turning entrance vehicle to fully facilitate a right out only exit from the alley. Size to be determined so as to not affect refuse / recycling collection. Additional signage will be needed to restrict right turn and left turn into the alley from Silver Spring Drive.
8. With each homeowner owning a portion of the private alley, access and stormwater flow route access easements will be needed. Homeowner pavement/curb/fence/storm sewer maintenance agreements will be needed as well. Who will own and maintain these common assets? Draft homeowner agreements and easement documents should be submitted for Village staff review.
9. What are the dimensions of the proposed back of curb and fence to the property line on both the north / south and east/west alleys?
10. Footing drain sump pumps will be required to connect directly by pipe to a storm sewer main or storm sewer inlet. This private storm sewer lateral should be shown for each lot and a connection detail included in the plans.
11. The existing water and sewer laterals onsite for the old building should be shown along with how they are proposed to be abandoned.
12. Village Public Work staff will investigate the size and condition of the adjacent Village sanitary, storm and water systems for this proposed use including fire hydrant and watermain valve locations and condition.

Page C1.20

13. A Village stormwater and erosion control permit application will need to be submitted.

Page C1.40

14. As you have confirmed, the existing shrubs along Marlborough Blvd should be shown to be removed.

Page L1.20

15. Existing / proposed parkway tree planting will need to be further reviewed. We need to take into account possible parkway tree damage due to proposed utility work.
16. Sight distance for road and sidewalk traffic for vehicles exiting the east / west alley will need to be reviewed with the proposed plantings.

*****Please review these comments, revise plans and return with written comments as to how each item above was addressed.**

Cc: Paul Boening, Village Manager
Joel Oestreich, Director of Building Services

FIRST CHURCH OF CHRIST SCIENTIST SITE: PDD PETITION SUBMITTAL 06/25/2020



In 1950, a congregation of Christ Scientists commissioned the construction of a church located at 721 E. Silver Spring Drive in Whitefish Bay, with their first services held in December 1951. The church property, originally constructed for a congregation of 400, included a substantive parking lot occupying approximately 3/4 of the village block bounded by Silver Spring, Glen, Danbury, and Marlborough.

Over the course of the past 20+ years, the church's membership has declined substantively. Today, the property remains off the village tax rolls, the building is profoundly under-utilized and ill-equipped for adaptive re-use, and the parking lot is in deteriorating condition and used mainly by third parties. As a result of its declining membership, the church resolved to sell the property.

Our entity has purchased the property with the intention to re-develop it into a development that will:

- Contribute substantively to Whitefish Bay's unique sense of community
- Create a dynamic sense of place through innovative architectural design and site planning
- Establish an anchor for the east end of the Silver Spring commercial district and create the opportunity for place making on Marlborough
- Rely on best practices for urban residential design while remaining consistent with neighborhood scale and patterns of development
- Generate meaningful tax increment for the village by bringing this important parcel back onto the tax rolls

While the corner of Silver Spring and Marlborough remains commercial, we find it notable that with very limited exception there are neither multi-family nor commercial buildings located east of Marlborough throughout the village. And, with the exception of the Methodist Church to the east, the surrounding neighborhood is exclusively single family.

Historically, the development of a full block face with distinctly similar single-family homes was somewhat typical. Indeed, newly-platted subdivisions established a canvas upon which planners and developers created new communities out of whole cloth. We find it throughout metro-Milwaukee with blocks of Milwaukee bungalows, Mikkelson Colonials, and other architectural forms.

It is our intent to respect that historical pattern of development with this new subdivision, but with a focus on urban planning that directly respects this site's proximity to the heart of Whitefish Bay's commercial district, and in compliance with the village's adopted comprehensive plan. Indeed, while walkability is a hallmark of the village, it is fundamental to the attractiveness of this site. We have designed a site plan that relies on an alley for vehicular access – ensuring that the pedestrian is honored on the Danbury block face. We are using materials of the highest quality and durability. And, we have designed homes that contemplate the way that residents live in their homes today.

By adding seven new single-family homes in a landlocked village, we are helping to expand the village's residential base. By developing homes with dynamic value, our plan offers the village tax revenue consistent with that of a far larger mixed-use development. Perhaps most importantly, we believe that this development plan is consistent with the character of both Whitefish Bay generally and of this neighborhood specifically.

The balance of this submittal includes all information required by the village. Please note that site statistics are provided on sheet AS.00. As presented there, our proposed development and the individual houses largely conform with the zoning for a Single Family Residence District. Specifically, our development departs from that zoning for Maximum Dwelling to Lot Ratio. For convenience, I have attached the Site Statistics below for reference.

EXISTING SITE STATISTICS:

SITE AREA = 38,979 SQ. FT.
IMPERVIOUS AREA = 31,479 SQ. FT.
IMPERVIOUS COVERAGE PERCENTAGE = 81%
GREEN SPACE PERCENTAGE = 19%
ZONING DISTRICTS: 4 CHURCHES & PUBLIC BUILDINGS, 7 AUTOMOBILE PARKING

PROPOSED SITE STATISTICS:

SITE AREA = 38,979 SQ. FT.
IMPERVIOUS AREA = 25,123 SQ. FT.
IMPERVIOUS COVERAGE PERCENTAGE = 65%
GREEN SPACE PERCENTAGE = 35% (INCREASE OF 16% OVER EXISTING SITE)

ADJACENT ZONING DISTRICTS:

EAST: 2 SINGLE FAMILY RESIDENTIAL, 4 CHURCHES & PUBLIC BUILDINGS
WEST: 6 BUSINESS, 7 AUTOMOBILE PARKING
SOUTH: 2 SINGLE FAMILY RESIDENTIAL, 4 CHURCHES & PUBLIC BUILDINGS
NORTH: 6 BUSINESS

PROPOSED 9 P.U.D. ZONING:

MINIMUM LOT SIZE = 4,862 SQ.FT, NORTH LOT
MINIMUM STREET FRONTAGE = 40.67 FT NORTH LOT
MAXIMUM DWELLING TO LOT RATIO = 51.4%
DWELLING VOLUME = 41,654 C.F.
CORNER LOT DEPTH = 120 FT
BUILDING HEIGHT = 31,33 FT

2 SINGLE FAMILY RESIDENCE DISTRICT:

MINIMUM LOT SIZE = 4,800 SQ.FT,
MINIMUM STREET FRONTAGE = 40.00 FT
MAXIMUM DWELLING TO LOT RATIO = 30%
MIN DWELLING VOLUME = 17,500 C.F.
MINIMUM CORNER LOT DEPTH = 120 FT
MAX BUILDING HEIGHT = 35 FT PER 16,99,8(2)(a)(b)

PUD MINIMUM AREA > 25,000 SQ.FT, WHEN ADJACENT TO 4 CHURCHES & PUBLIC BUILDING & GROUNDIS PER 16.19(B)(2)(c)

FRONT YARD SETBACK = 3'-0" TO MAIN FACADE
PRIVATE ALLEY SETBACK = 3'-8" MINIMUM
FENCING: ARCHITECTURAL DESIGNED OPAQUE, 1/2" SPACED HORIZONTAL 1 x 6 JPE BOARDS AND PATINAED STRUCTURAL STEEL POSTS, 42" TALL FRONT YARD, 72" TALL SIDE AND REAR YARD.

While firm pricing will not be available until plans are approved by the village and put out to bid by the general contractor, we anticipate that the value of these homes will exceed \$1,250,000 each, resulting in an aggregate development value in excess of \$8,750,000.

We will create a subdivision plat that will define seven individual lots and tax keys. Each parcel will include a portion of the private alley. We will establish a home owner's association that will oversee maintenance

of sidewalks, the alley, and front yard landscaping of all residences. This will include snow removal as well as all necessary physical repairs.

We intend to commence construction shortly following receipt of final approvals from the village. Currently, we anticipate construction start in October 2020. We will decommission and demolish the church, to be followed immediately by installation of site fencing. We expect to construct the houses in a single phase over the course of approximately one year. It is possible that we will stagger individual construction starts in order to manage access and the staging of equipment and materials.

Over the course of construction, we anticipate that we will require sidewalk and parking lane closures to accommodate construction activity. We also anticipate we may need periodic short-term drive lane closure on Danbury and Glen. We will communicate and cooperate with both the Village and the neighbors to ensure those closures result in the fewest possible conflicts and disruption.

We are deeply committed to this development. Both my partner, Mike Kelly, and I were raised in Whitefish Bay (WFB HS '74 and '88). This development offers us the opportunity to return to Whitefish Bay – not just as developers, but also as residents. I will live in one of these houses with my wife and two children, and Mike will live in another. Our attention to detail will be exacting, and our commitment unwavering.

Regards,



Blair W. Williams
President



FIRST CHURCH OF CHRIST SCIENTIST SITE: PLAN UPDATES FOR PLANNING COMMISSION

On August 6, 2020 the Village Architectural Review Commission considered our proposed development for the First Church Christ Scientist site. The outcome of the meeting was that the ARC recommended approval of the development with conditions. As we understand them, those conditions are as follow:

1. Architectural site plan to better address the Silver Spring frontage as every other property along Silver Spring treats Silver Spring as their front door.
2. Address materiality on corners and how the property development handles corners on N. Marlborough and E. Glen in addition to the corner of E. Glen and N. Danbury.
3. Address window alignment to adjacent properties so they don't line up with each other.
4. Conduct traffic study and consider adding stop signs at intersection of E. Glen & N. Danbury and alley exit of development.
5. Chimney material to be more natural material consistent with exterior materials of proposed development
6. Incorporate natural materials on properties with an emphasis on E. Silver Spring, N. Danbury and N. Marlborough

The purpose of this transmittal, and of our upload of certain materials to the Dropbox folder, is to provide our response to these specific conditions and to the questions/comments provided to us by John Edlebeck following his plan review. In the Dropbox folder, we have added a folder named "Updated Files for PC". That folder contains updated renderings, our response to Mr. Edlebeck's questions/comments, and will soon contain additional plans that reflect changes to the plans and elevations.

We would like to directly address the ARC conditions in this narrative. The following presents our thought process on each condition, and materials in the updated folder will provide additional support.

1. Architectural site plan to better address the Silver Spring frontage as every other property along Silver Spring treats Silver Spring as their front door.
 - a. *The design of our site plan is deeply intentional and reflects our strongly preferred design outcome. Danbury and Glen are distinctly residential streets. Having residential front doors on those streets respects that condition. Further, Silver Spring in particular is a complicated frontage. While we are not able to present a design alternative that re-orientes the buildings, we have updated the elevations and renderings to reflect a substantial increase in the amount of masonry on that elevation in order to strengthen the home's presence on the street.*
2. Address materiality on corners and how the property development handles corners on N. Marlborough and E. Glen in addition to the corner of E. Glen and N. Danbury.

- a. As presented in the renderings, we have changed the material of the house on the street facing elevations to masonry. We have also added additional visual interest by introducing a complementary paint color for the connector between the house and the garage. We now also provide full renderings of each corner house.*
3. Address window alignment to adjacent properties so they don't line up with each other.
 - a. The buildings were designed with full contemplation of how they address each other. We are not providing alterations to the fenestration, as we strongly believe that the adjacencies are fully appropriate given how the specific interior uses relate to each other.*
4. Conduct traffic study and consider adding stop signs at intersection of E. Glen & N. Danbury and alley exit of development.
 - a. We will support the Village's decisions on whether stop signs or other traffic calming measures can/should be implemented at that intersection.*
5. Chimney material to be more natural material consistent with exterior materials of proposed Development.
 - a. Our updated renderings and plans now present a chimney that implements the longboard material from the primary elevation of the house.*
6. Incorporate natural materials on properties with an emphasis on E. Silver Spring, N. Danbury and N. Marlborough.
 - a. See 2a. above.*

We anticipate that our civil engineer will have their plan updates concluded by next week. As soon as we have those, we will upload both the updated civil plans and the updated architectural plans.

Should you have any additional requirements or requests, please do not hesitate to contact me.

Regards,

Blair W. Williams
President







CONSORTIUM ae

\kən-`sor-sh(ē)əm \ a.e. : an architectural engineering partnership

735 N Water Street Suite 1228
Milwaukee | WI 53202
Gregg Prossen, Principal

TELEPHONE 414.406.7625
www.consortiumae.com

A REDEVELOPMENT FOR:

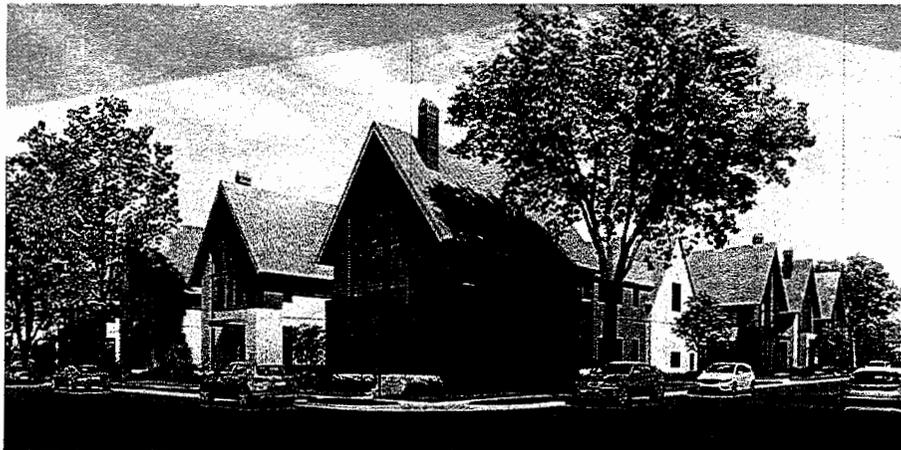
WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
WHITEFISH BAY, WI 53211

the CONSORTIUM ae PROJECT #:0019-37



VIEW FROM CORNER OF MARLBOROUGH AND GLEN

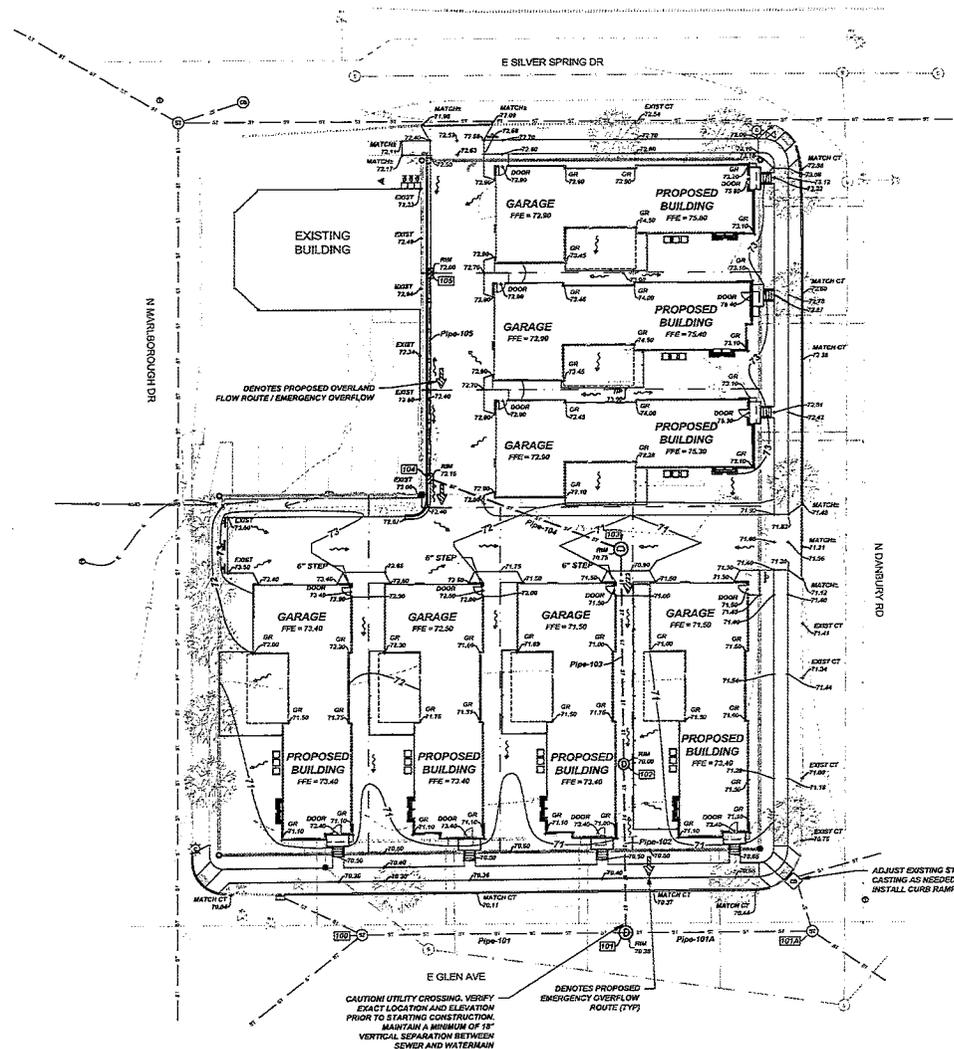


VIEW FROM CORNER OF DANBURY & GLEN



VIEW FROM CORNER OF SILVER SPRING AND DANBURY

WIRED DANBURY GLEN
2020-08-18 CD'S



#	Structure Details
100	6\"/>

Pipe Name	Size	Material	Length	Slope	Description
Pipe-01	18	PC	53	0.30%	EXISTING PIPE
Pipe-02A	18	PC	55	0.30%	EXISTING PIPE
Pipe-02	12	PVC	93	1.20%	
Pipe-03	12	PVC	77	1.60%	
Pipe-04	12	PVC	73	1.60%	
Pipe-05	12	PVC	74	1.60%	



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL CENTER" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO LOCATE WORK CONTAINED ON THESE DRAWINGS, AND EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

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 an architectural engineering partnership

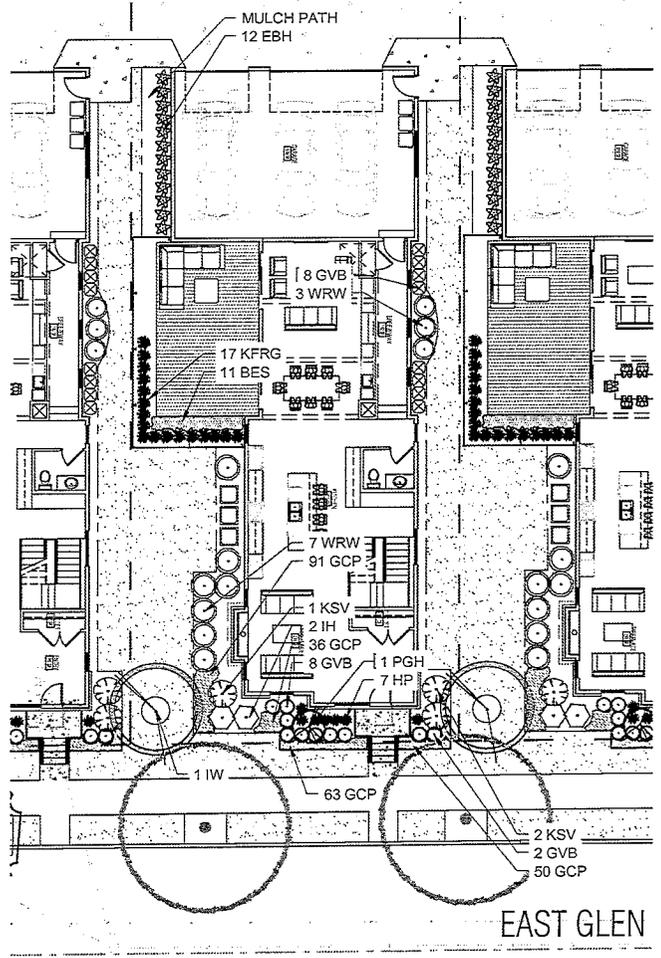
the Consortium ae LLC
 2500 West 99th St., 1st Floor, Minneapolis, MN 55425
 Tel: 612.338.4400 Fax: 612.338.4401

Harwood Engineering Consultants

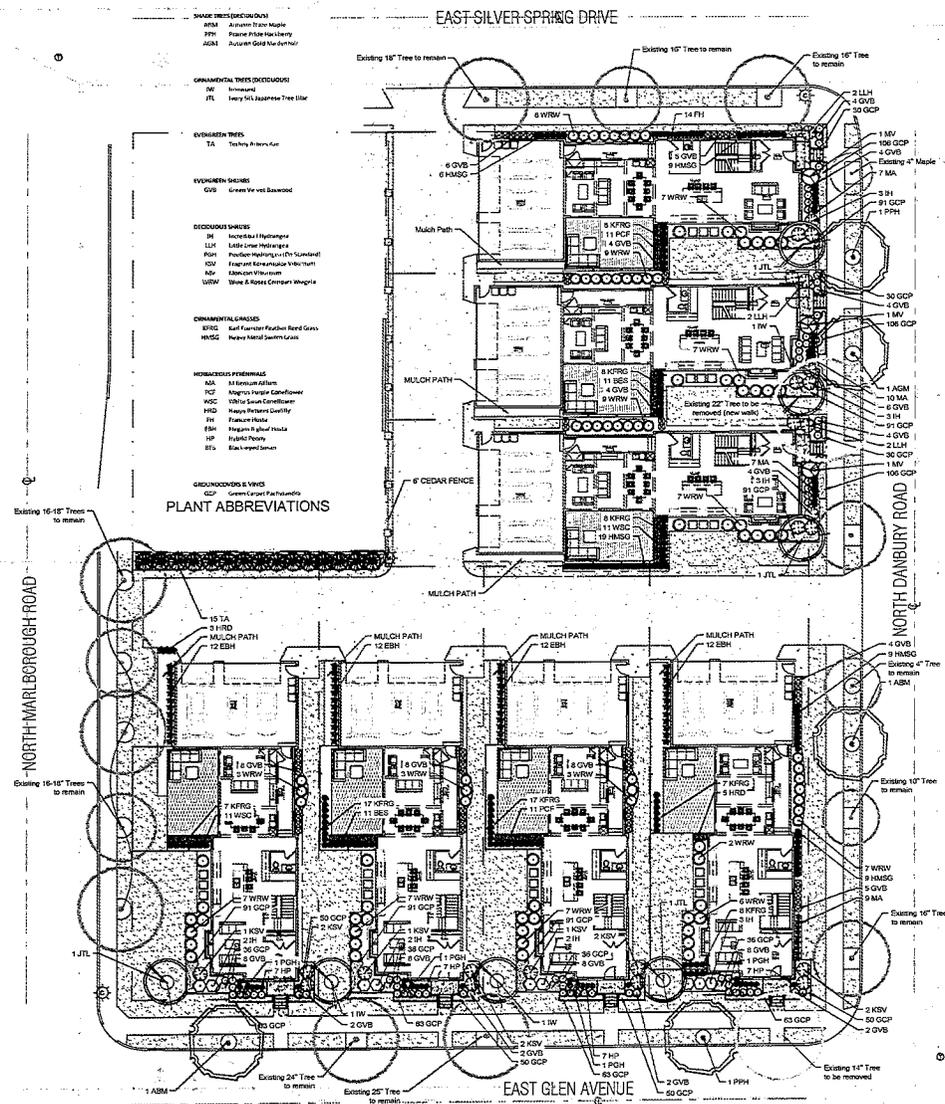
WIRED DANBURY GLEN
 WHITEFISH BAY, WI 53211

SCALE: 1" = 30'
 GRADING PLAN

2020-08-19
 0019-37 CD's
 C1.20



ENLARGED UNIT LANDSCAPE PLAN
Scale: 1" = 8'0"



OVERALL LANDSCAPE PLAN
Scale: 1" = 16'0"

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the Consortium ae LLC
750 N. Water Street, 1228 | Milwaukee | WI 53226 | 414.481.7474

Page 2
WIRED DANBURY GLEN

Location
WHITEFISH BAY, WI 53211

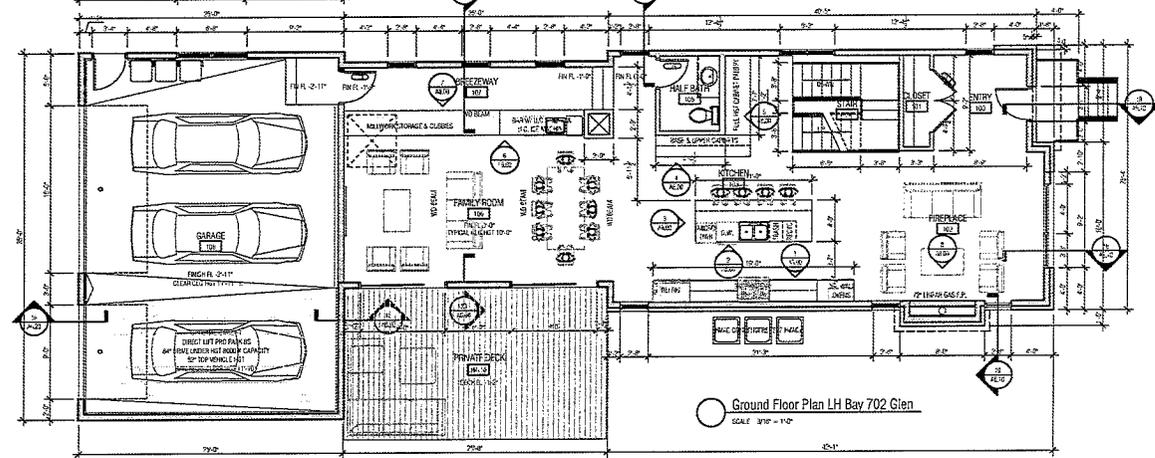
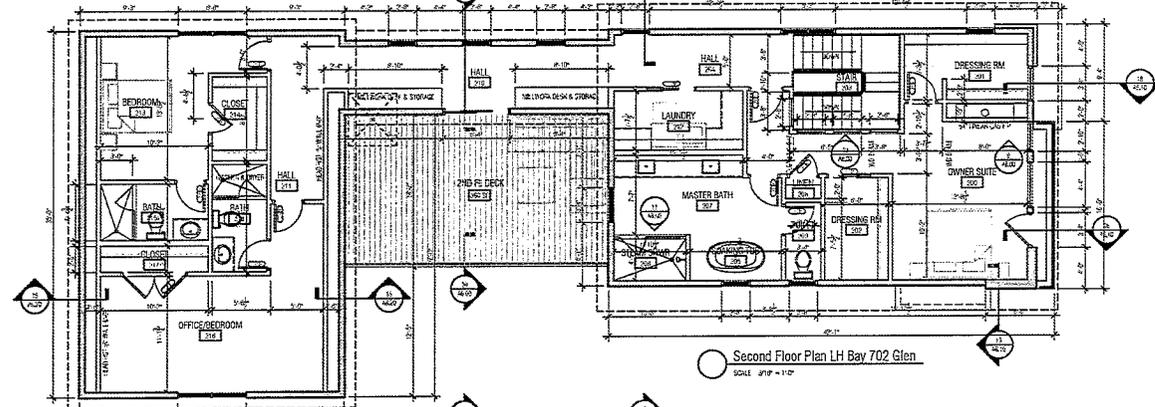
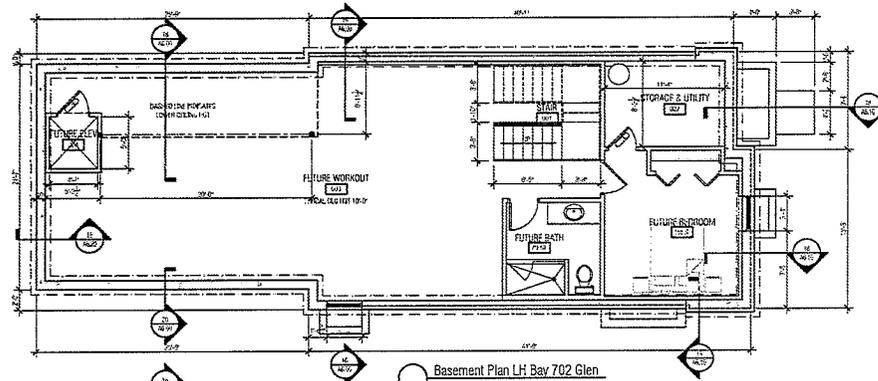
Sheet
OVERALL LANDSCAPE PLAN

Date:
2020-08-19
Project No.
0019-37
Client No.

L1.00

ROOM FINISH SCHEDULE										
ROOM	AREA	FLOOR	MATL	BASE	NORTH	EAST	SOUTH	WEST	CEILING	REMARKS
001 STAIR	92 SF	EXP-SC	---	PT	PT	PT	PT	PT	PT	10'-0"
002 STORAGE & UTILITY	93 SF	EXP-SC	---	PT	PT	PT	PT	PT	PT	10'-0"
003 FUTURE WORKOUT	903 SF	EXP-SC	---	PT	PT	PT	PT	PT	PT	10'-0"
004 FUTURE ELEV	28 SF	SC	---	GWB	GWB	GWB	GWB	GWB	PT	10'-0"
100 ENTRY	80 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
101 CLOSET	22 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
102 FIREPLACE	267 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
103 KITCHEN	401 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
104 STAIR	92 SF	---	---	---	---	---	---	---	---	10'-0"
105 HALF BATH	41 SF	CT	CT	CT	CT	CT	CT	CT	PT	9'-0"
109 FAMILY ROOM	409 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
107 BREKZWAY	135 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
108 GARAGE	816 SF	EPORXY	---	PT	PT	PT	PT	PT	PT	10'-0"
200 OWNER SUITE	266 SF	WD	WB	PT	PT	PT	PT	PT	PT	SLOPED CEILING
201 DRESSING RM	72 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
202 DRESSING RM	59 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
203 STAIR	92 SF	---	---	---	---	---	---	---	---	OPEN STAIR
204 HALL	87 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
205 SOAKING TUB	38 SF	CT	CT	PT	PT	PT	PT	PT	PT	10'-0"
206 STEAM SHWR	27 SF	CT	CT	CT	CT	CT	CT	CT	PT	10'-0"
207 MASTER BATH	112 SF	CT	CT	PT	PT	PT	PT	PT	PT	10'-0"
208 LINEN	17 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
209 TOILET	25 SF	CT	CT	PT	PT	PT	PT	PT	PT	10'-0"
210 HALL	151 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
211 HALL	86 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
212 LAUNDRY	66 SF	SV	WB	PT	PT	PT	PT	PT	PT	9'-0"
213 BEDROOM	199 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
214 CLOSET	41 SF	WD	WB	PT	PT	PT	PT	PT	PT	9'-0"
215 BATH	55 SF	CT	CT	CT	CT	CT	CT	CT	PT	9'-0"
216 OFFICE/BEDROOM	158 SF	WD	WB	PT	PT	PT	PT	PT	PT	10'-0"
217 CLOSET	23 SF	WD	WB	PT	PT	PT	PT	PT	PT	9'-0"
218 BATH	53 SF	CT	CT	CT	CT	CT	CT	CT	PT	9'-0"

DOOR AND FRAME SCHEDULE											
NO.	DOOR		FRAME		DETAIL		HARDWARE		REMARKS		
	WIDTH	HEIGHT	MATL	FINISH	TYPE	MATL	FINISH	HEAD		JAMB	
101A	8'-0"	8'-0"	B	WD	ST	1	WD	PT	---	HS-1	GLASSWORK DOOR
105A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---
107A	3'-0"	8'-0"	A	WD	PT	1	WD	PT	---	HS-2	---
2A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-1	---
200A	3'-0"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---
200A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-1	---
202A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---
202A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-4	---
207A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---
208A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-1	---
212A	3'-0"	8'-0"	A	WD	PT	1	WD	PT	---	HS-4	---
213A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---
214A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-1	---
215A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---
216A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---
216A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---
217A	6'-0"	2'-6"	A	WD	PT	1	WD	PT	---	HS-3	---
218A	3'-0"	7'-0"	A	WD	PT	1	WD	PT	---	HS-1	---

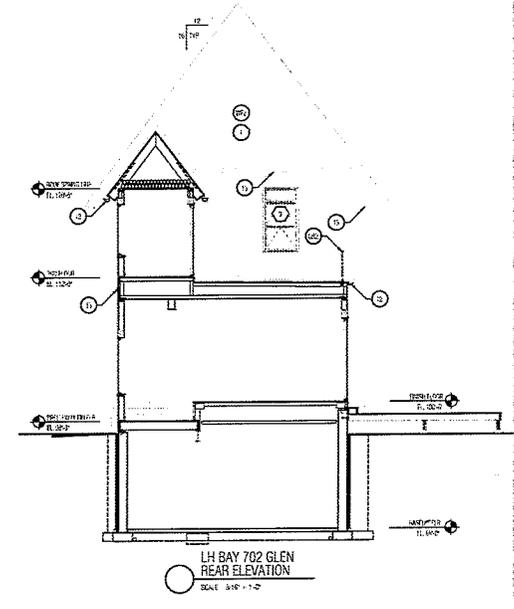
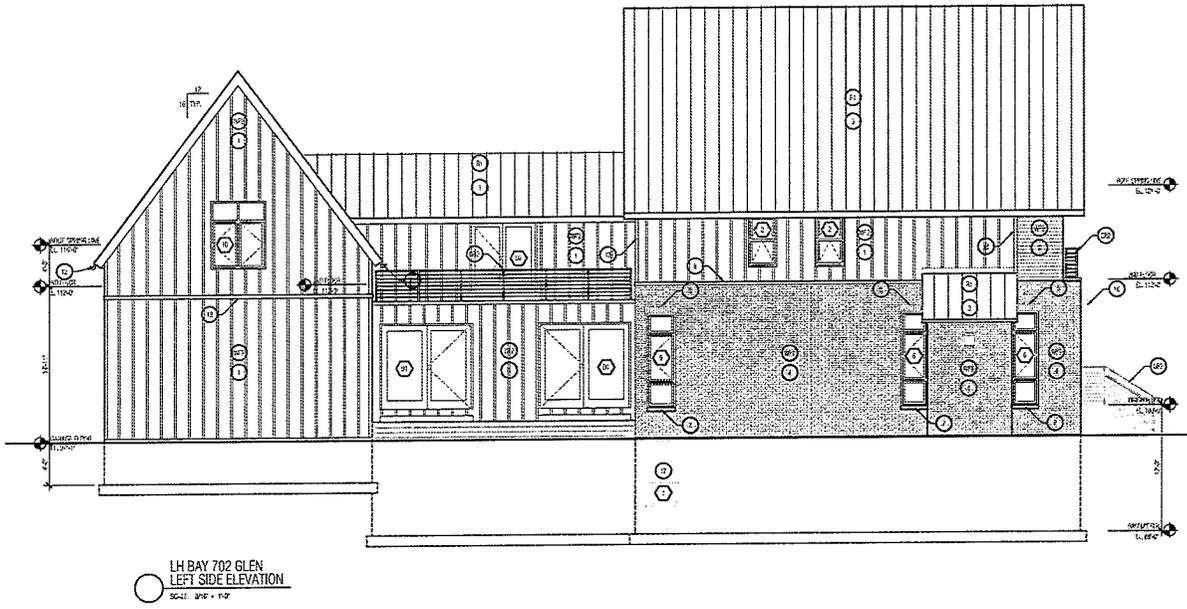
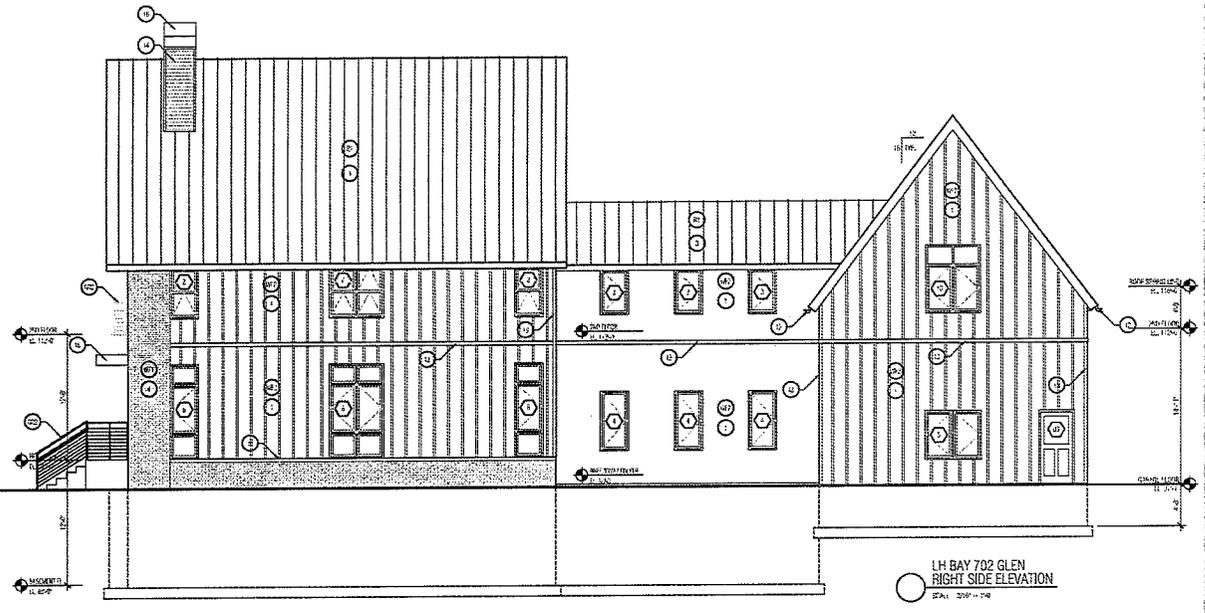
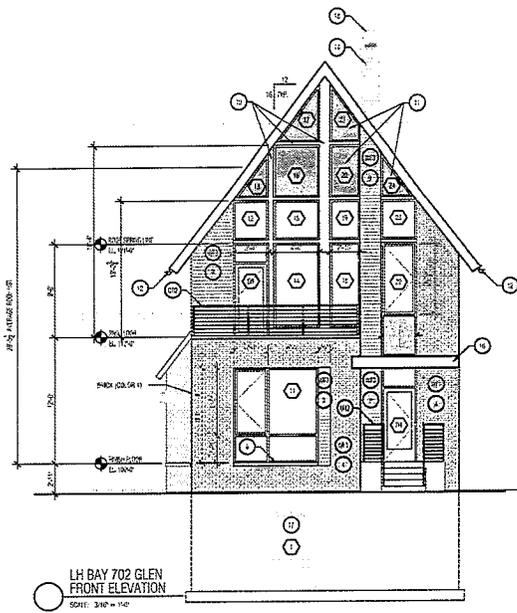


CONSORTIUM ae
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 the Consortium ae LLC
 758 N Water Street 1228 | Milwaukee | WI 53202 | Group Practice, Principal
 Telephone: 414.447.1474

Project:
WIRED DANBURY GLEN
 E GLEN AVE & N DANBURY RD
 Location:
 WHITEFISH BAY, WI 53211

Sheet:
FLOOR PLANS - 702 E GLEN AVE
 Date:
 2020-08-18 CDS
 Project No.:
 0019-37
 Sheet No.:

A1.00



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the Consortium ae LLC
708 N Water State 1228 | Milwaukee | WI 53202 | Greg Pustan, Principal
Tel: 414.407.7171

Project: **WIRED DANBURY GLEN**

E GLEN AVE & N DANBURY RD
Location: **WHITEFISH BAY, WI 53211**

Client: **ELEVATIONS - 702 E GLEN AVE**

Date: **2020-08-18 CDS**
Project No.: **0019-37**
Sheet No.: **A1.01**

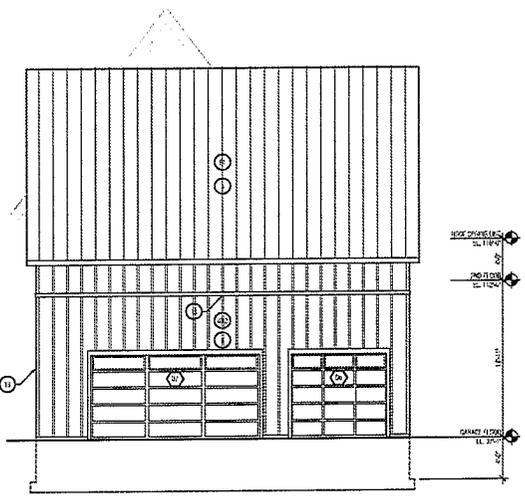
EXTERIOR WINDOW & DOOR SCHEDULE									
MARK	QUAN-TITY	NOMINAL SIZE		ROUGH OPENING		HEAD HGT	TYPE	MATERIAL	NOTES
		WIDTH	HEIGHT	WIDTH	HEIGHT				
1	2	41.5	77	42	77.5	9'-0"	SH	FG	SH 59.5" EGRESS TRANSOM 17.5" FX
2	4	31.5	59	32	59.5	7'-0"	SH	FG	
3	3	31.5	53.5	32	54	7'-0"	CASE	FG	
4	3	31.5	63.5	32	66	8'-0"	CASE	FG	
5	1	63.5	59.5	64	60	7'-0"	CASE	FG	(2) WIDE CASEMENT
6	5	31.5	106.5	32	107	9'-0"	CASE	FG	LOWER 29.5" FX CASE 53.5" TRANSOM 23.5" FX
7	1	63.5	59	64	59.5	7'-0"	SH	FG	(2) WIDE SINGLE HUNG
8	1	63.5	106.5	64	107	9'-0"	CASE	FG	(2) LWR 29.5" FX CASE 53.5" TRANSOM 23.5" FX
9	1	41.5	71	42	71.5	8'-6"	SH	FG	SH 53.5" TRANSOM 17.5" FX
10	2	63.5	77	64	77.5	9'-0"	CASE	FG	(2) CASE 53.5" EGRESS TRANSOM 23.5" FX
11	1	95.5	107.5	96	108	9'-0"	CASE	FG	(1) 35.5" X 71.5" CASE & (3) FIXED, SEE ELEV
12	1	39.5	57.5	40	58	14'-2"	FX	FG	FIXED DIRECT SET
13	1	36.5	48.75	37	49.25	-	FX	FG	FIXED TRIANGLE SPANDREL GL FIELD VERIFY
14	1	51.5	57.5	52	58	9'-0"	FX	FG	FIXED DIRECT SET
15	1	51.5	57.5	52	58	14'-2"	FX	FG	FIXED DIRECT SET
16	1	51.5	57.5	52	58	19'-3.25"	FX	FG	FIXED DIRECT SET - SPANDREL GL
17	1	49	66.375	49.5	64.875	-	FX	FG	FIXED TRIANGLE SPANDREL GL FIELD VERIFY
18	1	33.5	65.5	34	66	9'-0"	FX	FG	FIXED DIRECT SET
19	1	33.5	57.5	34	58	14'-2"	FX	FG	FIXED DIRECT SET
20	1	33.5	57.5	34	58	19'-3.25"	FX	FG	FIXED DIRECT SET - SPANDREL GL
21	1	33.5	65.375	34	64.875	-	FX	FG	FIXED TRAPEZOIDAL SPANDREL GL FIELD VERIFY
22	1	39.5	120.25	40	120.75	9'-0"	FX	FG	34.75" FX SPANDREL 85.5" FX DIRECT SET
23	1	39.5	57.5	40	58	14'-2"	FX	FG	FIXED DIRECT SET
24	1	36.5	48.875	37	49.375	-	FX	FG	FIXED TRIANGLE SPANDREL GL FIELD VERIFY
D1	2	96	96	96	96	8'-0"	SL	FG	8' x 8' SLIDG DR (1) LEFT (1) RIGHT VENT W/ SCR
D2	1	72	80	72	80	6'-8"	SL	FG	6' x 7' SLIDG DR LEFT VENT W/ SCREEN
D3	1	36	84	36.25	86.125	7'-0"	DR	FG	36" x 84" INSULATED 1/2 LITE 2 PANEL
D4	1	36	108	36	108	9'-0"	DR	FG	36" x 84" GL ENTRY DOOR W/ FX TRANSOM
D5	1	36	108	36	108	9'-0"	DR	FG	36" x 84" GL ENTRY W/ FX TRANSOM & SCR DR
D6	1	96	96	97	97	8'-0"	OH	AL	8' x 8' O.H. DR W/ WALL MTD MOTOR DRIVE
D7	1	192	96	193	97	8'-0.5"	OH	AL	16' x 8' O.H. DR W/ WALL MTD MOTOR DRIVE

GENERAL FENESTRATION NOTES:
 SPECIFICATION BASED ON PELLA IMPERVIA FIBERGLASS WINDOW & DOOR SYSTEMS, CLEAR, INSULATED, ARGON FILLED LOWW, SOUND GLASS. PROVIDE SCREEN ON OPERABLE UNITS, PREFINISHED BLACK EXTERIOR & INTERIOR. PROVIDE ALTERNATE WHITE PREFINISHED INTERIOR, PROVIDES WALL FIN, NO EXTERIOR TRIM, MATCHING PAINTING MATERIAL AS NECESSARY FOR FRONT WINDOW WALL. SPANDREL GLASS (NON VISION) UNITS TO BE INSULATED CERAMIC FRIT. PROVIDE SAFETY GLAZING WHERE REQUIRED BY CODE.
 GARAGE DOORS EQUAL TO OVERHEAD DOOR CO. MODEL 9620 ALUMINUM, INSULATED (SET FRAME) BLACK FINISH W/ INSUL IMPACT FROSTED POLYCARBONATE AND INFINITY SERIES 2000 DIRECT DRIVE WALL MTD MOTOR DRIVE.

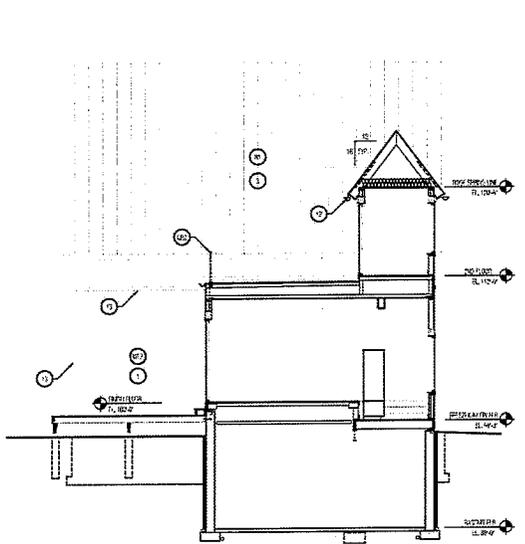
SH - SINGLE HUNG
 CASE - CASEMENT
 PAT - PATIO DOOR
 EGRESS - SLEEPING UNIT EGRESS COMPLIANT WINDOW

LWR - LOWER
 FG - FIBERGLASS
 FX - FIXED
 SCR - SCREEN

DR - DOOR
 OH - OVERHEAD DOOR
 SL - SLIDING DOOR
 AL - ALUMINUM



LH BAY 702 GLEN ALLEY ELEVATION
 SCALE: 3/16" = 1'-0"



LH BAY 702 GLEN GARAGE FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

CONSTRUCTION SYSTEM KEYNOTES	
101	TRANSOM SYSTEM 2" CONCRETE FIBERFLEX/EPDM GRAN TUBE IN FABRIC DUCK GORE W/ CRUSS BLEEDERS AND REBAR GORE TUBE UNDER SLAB TRAP TUBE SYSTEM TO FULLY DRAIN BLOCK W/ 2" W/ TRAP
102	CONCRETE SYSTEM 12000 PSI 100% FIBER REINFORCED 12000 PSI W/ 3% CONCRETE FOUNDATION WALL LONGITUDINAL REINFORCED CONCRETE STRIP FOOTING 12000 PSI W/ 4" TOP 10" ON APPROVED REBAR GILES TO AVOID EXCESSIVE SHRINKING PRESSURES
103	CONCRETE SYSTEM 12000 PSI 100% FIBER REINFORCED 12000 PSI W/ 3% CONCRETE FOUNDATION WALL ON CONTINUOUS REINFORCED CONCRETE STRIP FOOTING ON IMPROVED BEARING SOILS TO AVOID EXCESSIVE SHRINKING PRESSURES
104	CONCRETE SYSTEM 12000 PSI 100% FIBER REINFORCED 12000 PSI W/ 3% CONCRETE FOUNDATION WALL WITH 4" WIDE BRICK LITE ON CONTINUOUS REINFORCED CONCRETE STRIP FOOTING 2" W/ 8" 12" H/10" ON IMPROVED BEARING SOILS TO AVOID EXCESSIVE SHRINKING PRESSURES
105	CAST IN PLACE CONCRETE SYSTEM 1" THICK CAST IN PLACE REEF GORE FIBERGLASS UN VAPOR BARRIER ON GRAVEL SAND FILL ON IMPROVED BEARING SOILS
106	CAST IN PLACE CONCRETE SYSTEM CAST IN PLACE REEF GORE FIBERGLASS UN VAPOR BARRIER ON GRAVEL SAND FILL ON IMPROVED BEARING SOILS. SEE ELEVATION GORE TO GARAGE OVERHEAD DOOR
107	FLUOROPOLYMER SYSTEM 1" FLUOROPOLYMER SHEETING SYSTEM 2" DEEP 1" X 1" PARALLEL CHORD BRACK TRUSSES AT 10" O.C. LUGS USE 1/2" X 1/2" X 1/2" BRACK TRUSSES
108	INTERIOR GLAZING SYSTEM 1" CLEAR GLAZING UNIT WITH 1/2" BLACK FIN FIBERGLASS UN VAPOR BARRIER ON GRAVEL SAND FILL ON IMPROVED BEARING SOILS
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ELEVATION KEYNOTES	
1	PAINT COLOR #1 - SHEPPARD HILLS SW 705 PURE WHITE SATIN
2	PAINT COLOR #2 - SHEPPARD HILLS SW 605 SERRIS GRAY SATIN
3	METAL COLOR PAC CLAD PETITBLU METAL SW WEATHERED ZINC
4	BRICK #1 COMBRI MATERIALS GEMINI BRICK BURGERD BY NATUREL GRAY MOUNTAIN
5	BRICK #2 BELLEVUE BRICK LANSVALE BLEND A PLANT 3 W/ NATURAL GRAY MOUNTAIN
6	BRICK SILLER HAZARD
7	BRICK SILL
8	PRECAST OR CAST-IN-PLACE SILL
9	METAL COATED LUMBER AND COVER #1 DARK BARNETT
10	METAL COATED LUMBER AND COVER #2 WEATHERCLEAR
11	CHANGED AREA INDICATES SPANDREL (NON VISION) GLASS FRIT COLOR TO MATCH VISUAL LIFE
12	HAIR ROUND TRUSS SYSTEM SAME FRAME COLOR AS PLANT AREA
13	PAINTED 1/4" TRUSS COVER TO MATCH VISUAL LIFE
14	METAL COATED LUMBER AND COVER #3 DARK BARNETT
15	METAL COATED LUMBER AND COVER #4 WEATHERCLEAR
16	METAL COATED LUMBER AND COVER #5 WEATHERCLEAR
17	METAL COATED LUMBER AND COVER #6 WEATHERCLEAR
18	METAL COATED LUMBER AND COVER #7 WEATHERCLEAR
19	METAL COATED LUMBER AND COVER #8 WEATHERCLEAR
20	METAL COATED LUMBER AND COVER #9 WEATHERCLEAR
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22	METAL COATED LUMBER AND COVER #11 WEATHERCLEAR
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105	METAL COATED LUMBER AND COVER #94 WEATHERCLEAR
106	METAL COATED LUMBER AND COVER #95 WEATHERCLEAR
107	METAL COATED LUMBER AND COVER #96 WEATHERCLEAR
108	METAL COATED LUMBER AND COVER #97 WEATHERCLEAR
109	METAL COATED LUMBER AND COVER #98 WEATHERCLEAR
110	METAL COATED LUMBER AND COVER #99 WEATHERCLEAR
111	METAL COATED LUMBER AND COVER #100 WEATHERCLEAR

CONSORTIUM ae
 an architectural engineering partnership

the Consortium ae LLC
 702 E Glen Ave | Whitefish Bay, WI 53121 | Phone: 414.762.1000

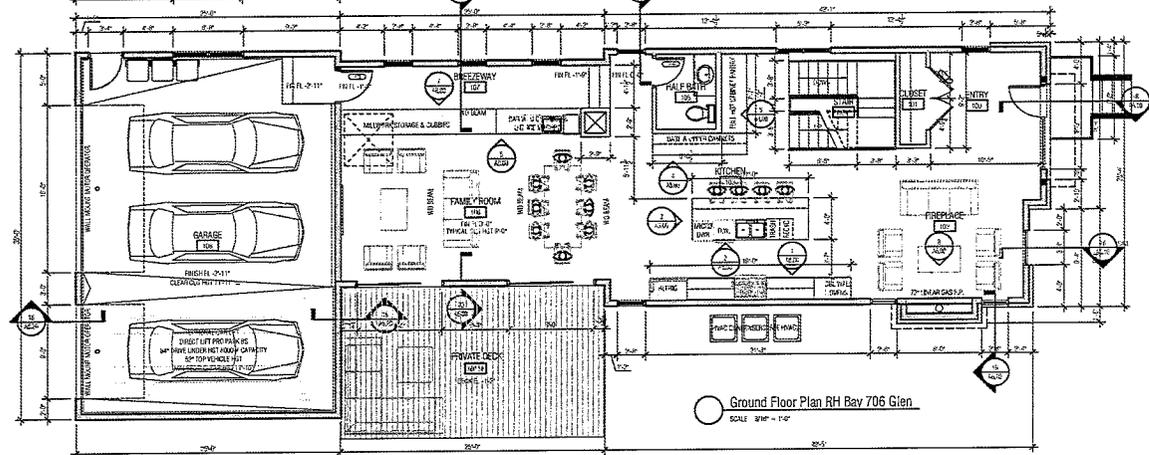
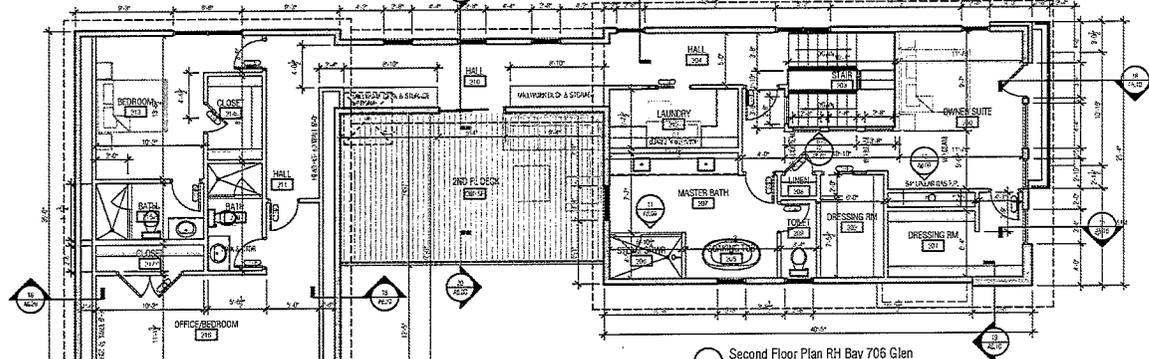
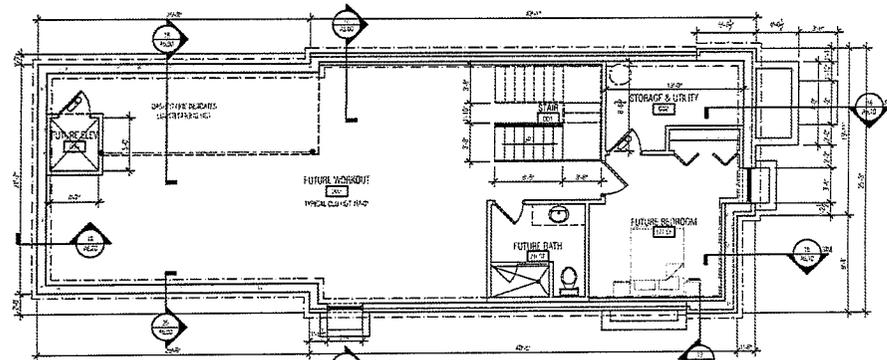
Project: WIRED DANBURY GLEN
 Location: WHITEFISH BAY, WI 53211

E GLEN AVE & DANBURY RD
 Location: WHITEFISH BAY, WI 53211

Date: 2020-08-18 CDS
 Project No: 0019-37
 Sheet No: A1.02

ROOM FINISH SCHEDULE												
ROOM	NAME	AREA	FLOOR	MATL	BASE	WALLS	NORTH	EAST	SOUTH	WEST	CEILING	REMARKS
001	STAIR	92 SF	---	---	---	PT	PT	PT	PT	PT	10'-0"	---
002	STORAGE & UTILITY	84 SF	EXP-SC	---	---	PT	PT	PT	PT	PT	10'-0"	---
003	FUTURE WORKOUT	880 SF	EXP-SC	---	---	PT	PT	PT	PT	PT	10'-0"	---
004	FUTURE ELEV	23 SF	SC	---	GWB	GWB	GWB	GWB	GWB	GWB	10'-0"	---
100	ENTRY	95 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
101	CLOSET	22 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
102	FIREPLACE	242 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
103	KITCHEN	401 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
104	STAIR	92 SF	---	---	---	PT	PT	PT	PT	PT	10'-0"	---
105	HALF BATH	41 SF	CT	CT	CT	CT	CT	CT	CT	CT	9'-0"	---
106	FAMILY ROOM	401 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
107	BREAKFRY	135 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
108	GARAGE	818 SF	EPKRY	---	---	PT	PT	PT	PT	PT	10'-0"	---
200	OWNER SUITE	250 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	SLOPED CEILING
201	DRESSING RM	86 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
202	DRESSING RM	50 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
203	STAIR	92 SF	---	---	---	PT	PT	PT	PT	PT	10'-0"	---
204	HALL	87 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
205	SOAKING TUB	38 SF	CT	CT	CT	CT	CT	CT	CT	CT	10'-0"	---
206	STEAM SHWR	27 SF	CT	CT	CT	CT	CT	CT	CT	CT	10'-0"	---
207	MASTER BATH	112 SF	CT	CT	CT	CT	CT	CT	CT	CT	10'-0"	---
208	LINEN	7 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
209	TOILET	25 SF	CT	CT	CT	CT	CT	CT	CT	CT	10'-0"	---
210	HALL	151 SF	WD1	WB	PT	PT	PT	PT	PT	PT	9'-0"	---
211	HALL	56 SF	WD1	WB	PT	PT	PT	PT	PT	PT	9'-0"	---
212	LAUNDRY	58 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
213	BEDROOM	150 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
214	CLOSET	41 SF	WD1	WB	PT	PT	PT	PT	PT	PT	9'-0"	---
215	BATH	55 SF	CT	CT	CT	CT	CT	CT	CT	CT	9'-0"	---
216	OFFICE/BEDROOM	268 SF	WD1	WB	PT	PT	PT	PT	PT	PT	10'-0"	---
217	CLOSET	25 SF	WD1	WB	PT	PT	PT	PT	PT	PT	9'-0"	---
218	BATH	53 SF	CT	CT	CT	CT	CT	CT	CT	CT	9'-0"	---

DOOR AND FRAME SCHEDULE													
No.	DOOR	WIDTH	HEIGHT	TYPE	MATL	FINISH	FRAME	TYPE	MATL	FINISH	DETAIL	HARDWARE	REMARKS
101A	6'-0"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-1	CASEWORK DOOR
105A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-1	---
107A	3'-0"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-2	---
2A	3'-0"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-1	---
200A	3'-0"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-3	---
200A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-1	---
202A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-4	---
202A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-3	---
205A	3'-0"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-1	---
207A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-3	---
208A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-1	---
213A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-3	---
214A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-1	---
215A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-3	---
216A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-3	---
218A	2'-8"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-3	---
217A	6'-0"	8'-0"	A	WD	PT	---	1	WD	PT	---	---	HS-3	---
4A	3'-0"	7'-8"	A	WD	PT	---	1	WD	PT	---	---	HS-1	---



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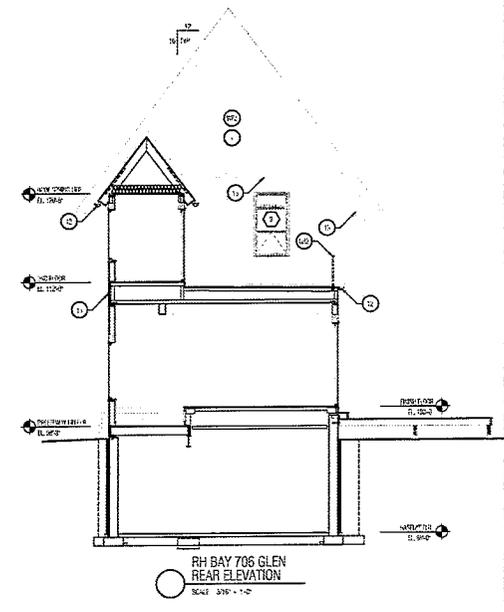
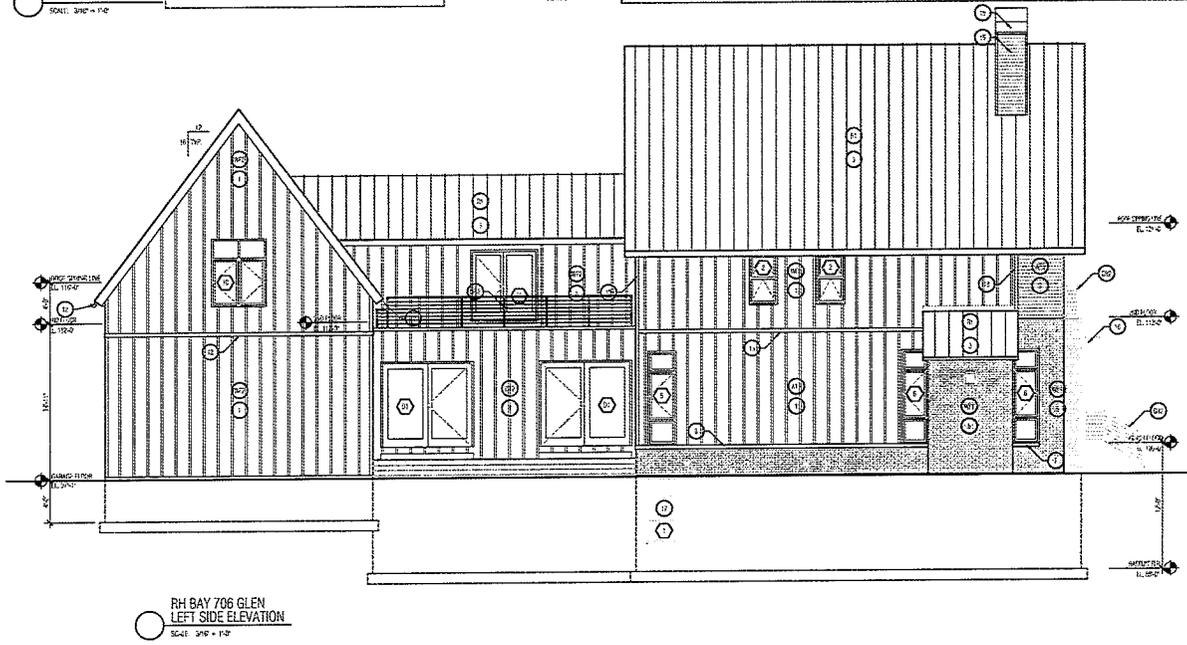
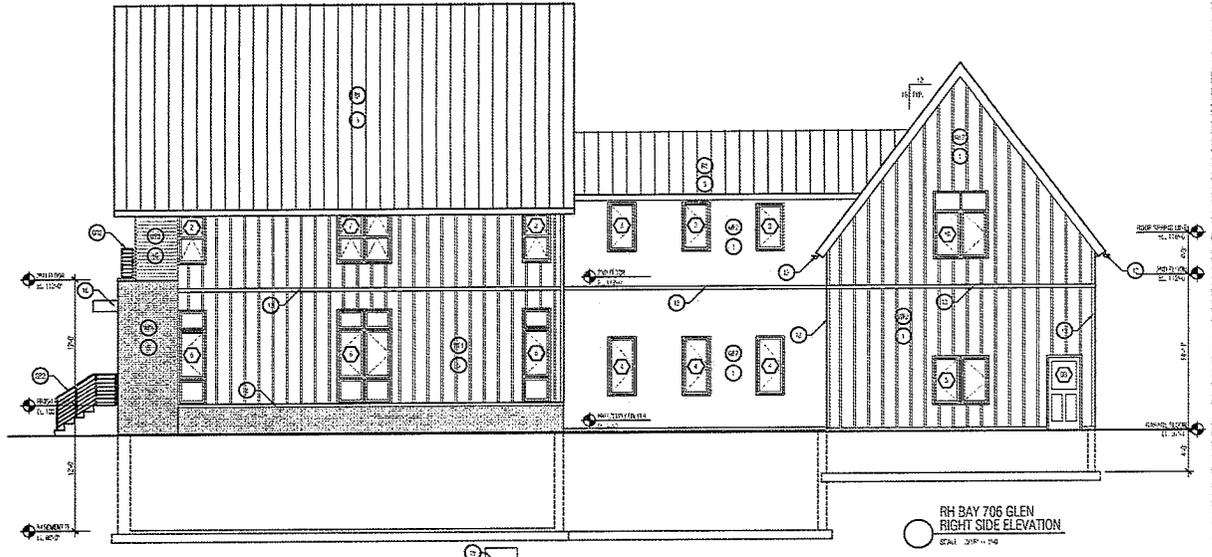
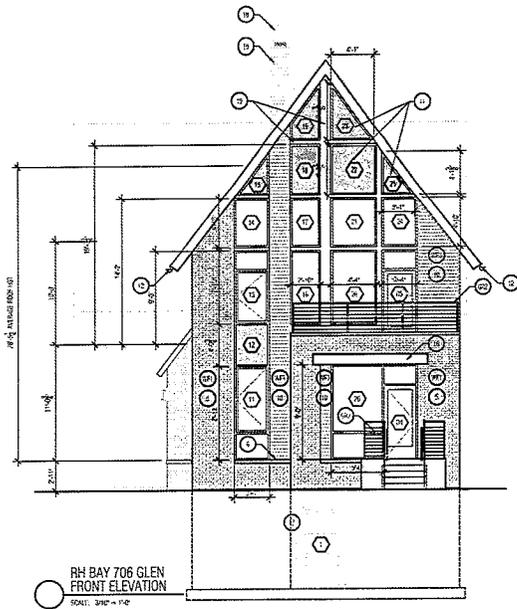
Project
WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
 Location
 WHITEFISH BAY, WI 53211

Client
FLOOR PLANS - 706 E GLEN AVE

Date
 2020-08-18 CDS
 Project No.
 0019-37
 Sheet No.

A1.10



CONSORTIUM ae
an architectural engineering partnership

the Consortium ae LLC
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TELEPHONE: 414.601.7175

Project: **WIRED DANBURY GLEN**

E GLEN AVE & N DANBURY RD
LOCATION: **WHITEFISH BAY, WI 53211**

Sheet: **ELEVATIONS - 706 E GLEN AVE**

Date: **2020-08-18 CDS**
Project No.: **0019-37**
Sheet No.

A1.11

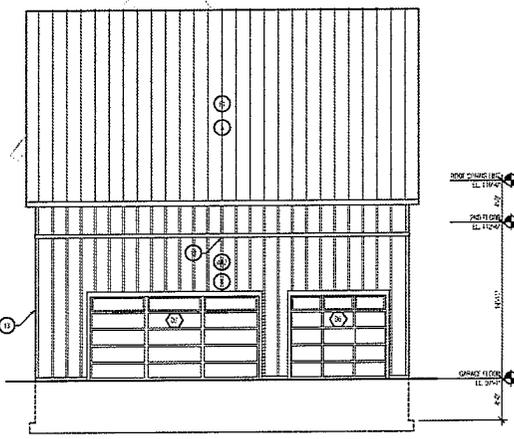
EXTERIOR WINDOW & DOOR SCHEDULE										
MARK	QUAN-TITY	NOMINAL SIZE		ROUGH OPENING		HEAD HGT	TYPE	MATERIAL		NOTES
		WIDTH	HEIGHT	WIDTH	HEIGHT			SH	FG	
1	2	41.5	77	42	77.5	9'-0"	SH	FG	SH 59.5" EGRESS TRANSOM 17.5" FX	
2	4	31.5	59	32	59.5	7'-0"	SH	FG		
3	3	31.5	53.5	32	54	6'-0"	CASE	FG		
4	3	31.5	65.5	32	66	8'-0"	CASE	FG		
5	1	63.5	65.5	64	65	7'-0"	CASE	FG	(2) WIDE CASSEMENT	
6	5	31.5	106.5	32	107	9'-0"	CASE	FG	LOWER 29.5" FX CASE 53.5" TRANSOM 23.5" FX	
7	1	63.5	59	64	59.5	7'-0"	SH	FG	(2) WIDE SINGLE HUNG	
8	1	63.5	106.5	64	107	9'-0"	CASE	FG	(2) LW 29.5" FX CASE 53.5" TRANSOM 23.5" FX	
9	1	41.5	71	42	71.5	8'-6"	SH	FG	SH 53.5" TRANSOM 17.5" FX	
10	2	63.5	77	64	77.5	9'-0"	CASE	FG	(2) CASE 53.5" EGRESS TRANSOM 23.5" FX	
11	1	38.5	95	40	95	—	CASE	FG	71.5" CASSEMENT & LOWER 23.5" FX	
12	1	38.5	48.75	40	48.75	—	FX	FG	FIXED DIRECT SET - SPANDREL GLASS	
13	1	38.5	85	40	85	9'-0"	CASE	FG	62" CASSEMENT & TRANSOM 23" FX	
14	1	38.5	95.5	40	95.5	14'-2"	FX	FG	FIXED DIRECT SET	
15	1	38.5	48.875	37	49.375	—	FX	FG	FIXED TRIANGLE SPANDREL GL FIELD VERIFY	
16	1	33.5	84.5	34	85	9'-0"	FX	FG	FIXED DIRECT SET	
17	1	33.5	57.5	34	58	14'-2"	FX	FG	FIXED DIRECT SET	
18	1	33.5	56.875	34	57.375	19'-3.25"	FX	FG	FIXED DIRECT SET - SPANDREL GLASS	
19	1	33.5	64.875	34	65.375	—	FX	FG	FIXED TRIANGULAR SPANDREL GL FIELD VERIFY	
20	1	51.5	84.5	52	85	9'-2"	FX	FG	FIXED DIRECT SET	
21	1	51.5	57.5	52	58	14'-2"	FX	FG	FIXED DIRECT SET	
22	1	51.5	120.25	52	120.75	19'-3.25"	FX	FG	FIXED DIRECT SET - SPANDREL GLASS	
23	1	48.5	64.875	49	65.375	—	FX	FG	FIXED TRIANGLE SPANDREL GL FIELD VERIFY	
24	1	38.5	57.5	40	58	14'-2"	FX	FG	FIXED DIRECT SET	
25	1	38.5	48.875	37	49.375	—	FX	FG	FIXED TRIANGLE SPANDREL GL FIELD VERIFY	
26	1	59.5	107.5	60	108	9'-0"	FX	FG	71.5" FIXED & LOWER 23.5" FX	
D1	2	96	96	96	96	9'-0"	SL	FG	8' x 8' SLIDG DR (1) LEFT (1) RIGHT VENT W/ SCR	
D2	1	72	80	72	80	8'-0"	SL	FG	8' x 7' SLIDG DR LEFT VENT W/ SCREEN	
D3	1	36	84	36.25	86.125	7'-0"	DR	FG	36" x 84" INSULATED 1/2 LITE 2 P PANEL	
D4	1	36	108	36	108	9'-0"	DR	FG	36" x 84" GL ENTRY DOOR W/ FX TRANSOM	
D5	1	36	108	36	108	9'-0"	DR	FG	36" x 84" GL ENTRY W/ FX TRANSOM & SCR DR	
D6	1	96	96	97	97	8'-0"	OH	AL	8' x 8' O.H. DR W/ WALL MTD MOTOR DRIVE	
D7	1	182	96	193	97	8'-0.5"	OH	AL	16' x 8' O.H. DR W/ WALL MTD MOTOR DRIVE	

GENERAL FENESTRATION NOTES:
 SPECIFICATION BASED ON PELLA IMPERVIA FIBERGLASS WINDOW & DOOR SYSTEMS, CLEAR, INSULATED, ARGON FILLED LOWE, SOUND GLASS. PROVIDE SCREEN ON OPERABLE UNITS, PREFINISHED BLACK EXTERIOR & INTERIOR. PROVIDE ALTERNATE WHITE PREFINISHED INTERIOR. PROVIDE WALL FIN, NO EXTERIOR TRIM, MATCHING PAINTING MATERIAL, AS NECESSARY FOR FRONT WINDOW WALL. SPANDREL GLASS (NON VISION) UNITS TO BE INSULATED CERAMIC FRIT. PROVIDE SAFETY GLAZING WHERE REQUIRED BY CODE.
 GARAGE DOORS EQUAL TO OVERHEAD DOOR CO. MODEL 6920 ALUMINUM, INSULATED (5" FRAME) BLACK FINISH W/ INSUL IMPACT PROTECTED POLYCARBONATE AND INFINITY SERIES 2000 DIRECT DRIVE WALL MTD MOTOR DRIVE.

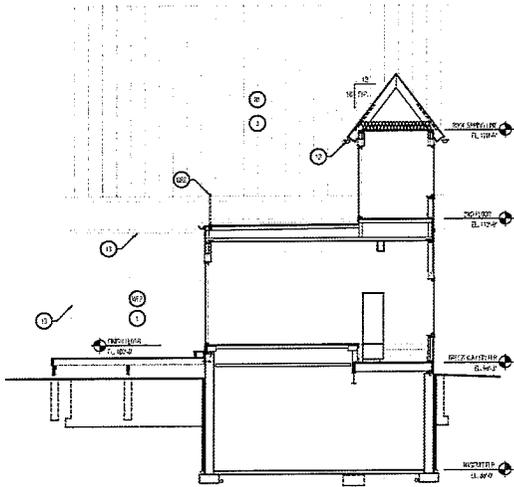
SH - SINGLE HUNG
 CASE - CASSEMENT
 PAT - PATIO DOOR
 FIXED - FIXED GLAZING UNIT
 EGRESS - SLEEPING UNIT EGRESS COMPLIANT WINDOW

LWR - LOWER
 FG - FIBERGLASS
 FX - FIXED
 SCR - SCREEN

DR - DOOR
 OH - OVERHEAD DOOR
 SL - SLIDING DOOR
 AL - ALUMINUM



RH BAY 706 GLEN ALLEY ELEVATION
 SCALE: 3/16" = 1'-0"



RH BAY 706 GLEN GARAGE FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

CONSTRUCTION SYSTEM KEYNOTES	
27	FRONT DOOR SYSTEM 2" POLYPROSTED FULY PERIMETER FRAME ELZE IN FABRIC JACK CURT BY GRES. BLEEDERS AND INTERIOR DOOR FABR. LARGER SEAS DRAW LITE SYSTEM TO FULLY SEAL ON OR W/ 1/2" FINISH
28	EXTERIOR WINDOW SYSTEM - INTERIOR FINISH FINISH: INTERIOR, REFINISHED INTERIOR CONCRETE FLOOR ON WALL ON CONTINUOUS REINFORCED CONCRETE. SHIP TONGUE JOIST 2" x 12" HIGH IN APPROVED HANGING SAILS TO ACHIEVE EGRESS/LOAD BEARING PRESSURES
29	INTERIOR WINDOW SYSTEM - EXTERIOR FINISH FINISH: INTERIOR, REFINISHED INTERIOR CONCRETE FLOOR ON WALL ON CONTINUOUS REINFORCED CONCRETE. SHIP TONGUE JOIST 2" x 12" HIGH IN APPROVED HANGING SAILS TO ACHIEVE EGRESS/LOAD BEARING PRESSURES
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ELEVATION KEYNOTES	
1	PAINT COLOR #1 - EXTERIOR WALLS ON 706 PURE WHITE SATIN
2	PAINT COLOR #2 - EXTERIOR WALLS ON 696 SPRING GRAY SATIN
3	METAL COLOR PPG CLOTTED METAL FINISH 500 WEATHERED DMC
4	BRICK #1 CLUMBY MATERIALS CEMENT BRICK BARDONBY BLDG W/ NATURAL GRAY MORTAR
5	BRICK #2 BELMONT BRICK LANSAPLE BLEND A PLANT # W/ NATURAL GRAY MORTAR
6	BRICK LINER HEADER
7	BRICK SILL
8	PREFCAST OR CAST STONE SILL
9	MARINE COATINGS (UNPAINTED COLOR #1 DARK NAVAL)
10	MARINE COATINGS (UNPAINTED COLOR #2 WESTER RED)
11	SHADED AREA INDICATES SPANDREL (NON VISION) GLASS FRIT COLOR TO MATCH VISION LITE
12	HALF ROUND VESTIBULE SYSTEM SAME FINISH COLOR AS BRICK METAL
13	PAINTER TO ITEM COLOR TO MATCH WOOD FLOOR
14	MARINE COATINGS (UNPAINTED) DARK VET GRAY SANDING SYSTEM COLOR # 1 W/ 2" COURSE COARSE GRIT FINE FINISH FOR PREPLACE
15	MARINE COATINGS (UNPAINTED) DARK VET GRAY SANDING SYSTEM COLOR # 2 W/ 2" COURSE COARSE GRIT FINE FINISH FOR PREPLACE
16	METAL COATINGS (BLACK COLOR) EXTERIOR GANTRY W/ W/ DOWN
17	EXTERIOR WINDOW AREA HELL LIGHTS METAL COATINGS (BLACK COLOR) EXTERIOR GANTRY W/ W/ DOWN
18	GLASS METAL VENT TERMINATION CAP WITH LIGHT SLIP RAMP (MATCH BRICK COLOR)
19	PREFINISHED METAL FINISH COVER TO MATCH FENESTRATION SYSTEM COLOR (BLACK)

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Project: WIRED DANBURY GLEN
 E GLEN AVE & N DANBURY RD
 LOCATION: WHITEFISH BAY, WI 53211

Sheet: ELEVATIONS - GARAGE
 706 E GLEN AVE

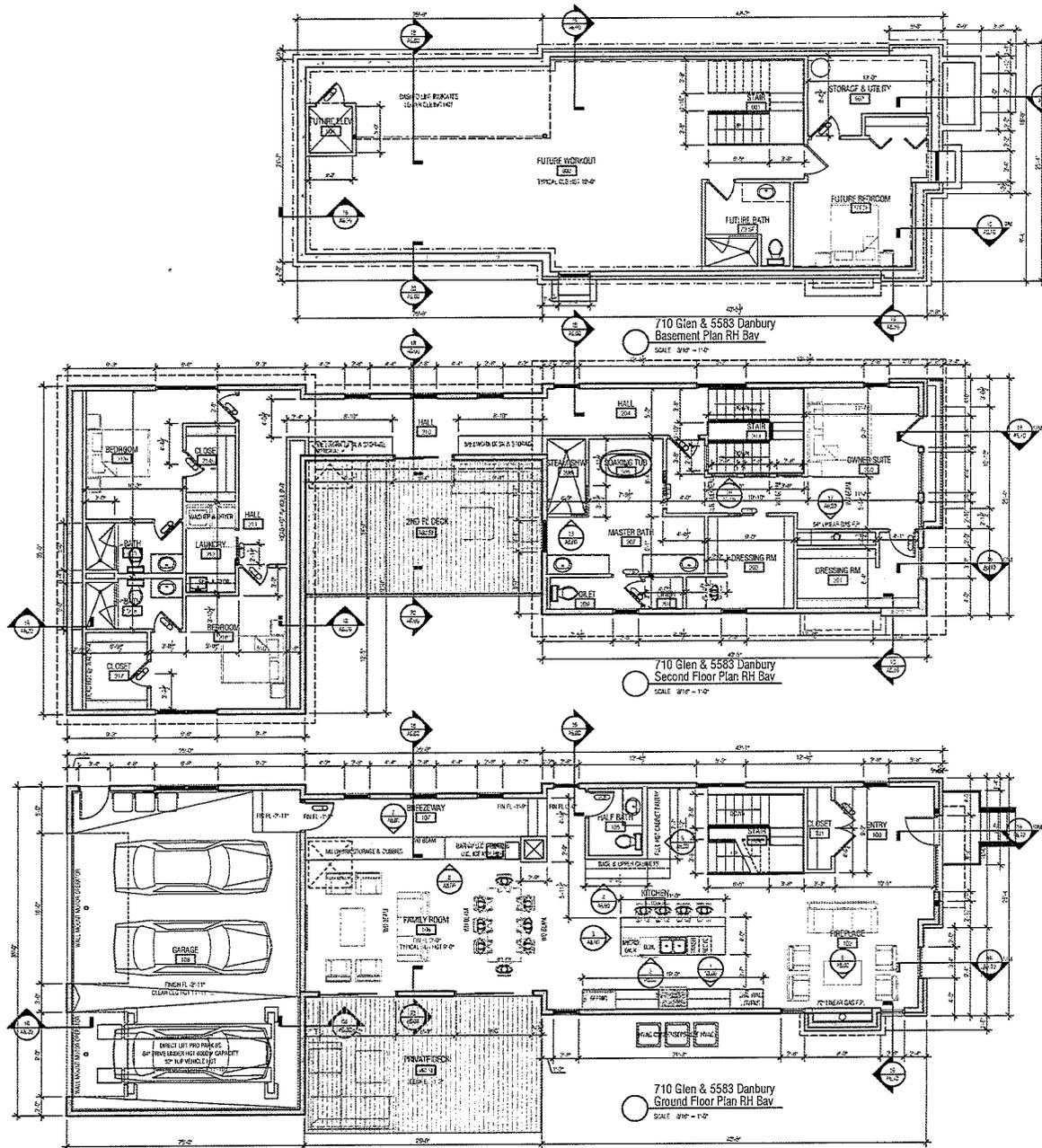
Date: 2008-08-18 CDS

Project No: 0190-37

Sheet No: A1.12

ROOM FINISH SCHEDULE										
ROOM	AREA	FLOOR	WALLS				CEILING		REMARKS	
No. NAME			MATL	BASE	NORTH	EAST	SOUTH	WEST	MATL	HEIGHT
001 STAIR	92 SF				PT	PT	PT	PT	PT	10'-0"
002 STORAGE & UTILITY	194 SF	DRP-SC			PT	PT	PT	PT	PT	10'-0"
003 FUTURE WORKOUT	689 SF	DRP-SC			PT	PT	PT	PT	PT	10'-0"
004 FUTURE GY	23 SF	SC		GWB	GWB	GWB	GWB	GWB	GWB	10'-0"
100 ENTRY	95 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
101 CLOSET	22 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
102 FIREPLACE	242 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
103 KITCHEN	401 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
104 STAIR	92 SF				PT	PT	PT	PT	PT	10'-0"
105 HALF BATH	44 SF	CT	CT	CT	CT	CT	CT	CT	CT	9'-0"
106 FAMILY ROOM	401 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
107 BREZEWAY	135 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
108 GARAGE	819 SF	EPKDY			PT	PT	PT	PT	PT	10'-0"
200 OWNER SUITE	250 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0" SLOPED CEILING
201 DRESSING RM	86 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
202 DRESSING RM	95 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
203 STAIR	92 SF				PT	PT	PT	PT	PT	10'-0"
204 HALL	87 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
205 SIKING TUB	163 SF	CT	CT	CT	CT	CT	CT	CT	CT	10'-0"
206 STEAM SHWR	32 SF	CT	CT	CT	CT	CT	CT	CT	CT	10'-0"
207 MASTER BATH	191 SF	CT	CT	CT	CT	CT	CT	CT	CT	10'-0"
208 LINEN	13 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
209 TOILET	32 SF	CT	CT	CT	CT	CT	CT	CT	CT	10'-0"
210 HALL	151 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	9'-0"
211 HALL	190 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	9'-0"
212 LAUNDRY	46 SF	SV	WB	PT	PT	PT	PT	PT	PT	9'-0"
213 BEDROOM	158 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
214 CLOSET	41 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	9'-0"
215 BATH	54 SF	CT	CT	CT	CT	CT	CT	CT	CT	9'-0"
216 BEDROOM	173 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	10'-0"
217 CLOSET	53 SF	WD-1	WB	PT	PT	PT	PT	PT	PT	9'-0"
218 BATH	54 SF	CT	CT	CT	CT	CT	CT	CT	CT	9'-0"

DOOR AND FRAME SCHEDULE											
No.	DOOR			MATL.	FINISH	FRAME		DETAIL		HARDWARE	REMARKS
	WIDTH	HEIGHT	TYPE			MATL.	FINISH	HEAD	JAMB		
101A	8'-0"	8'-0"	A	WD	PT	1	WD	PT		HS-1	CASWORK DOOR
105A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-3	
107A	3'-0"	8'-0"	A	WD	PT	1	WD	PT		HS-2	
2A	3'-0"	8'-0"	A	WD	PT	1	WD	PT		HS-1	
200A	3'-0"	8'-0"	A	WD	PT	1	WD	PT		HS-3	
200A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-1	
202A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-4	
203A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-4	
205A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-4	
208A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-1	
212A	13'-0"	8'-0"	A	WD	PT	1	WD	PT		HS-1	
213A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-3	
214A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-1	
215A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-3	
218A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-3	
218A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-1	
218A	2'-8"	8'-0"	A	WD	PT	1	WD	PT		HS-3	
4A	3'-0"	7'-0"	A	WD	PT	1	WD	PT		HS-1	



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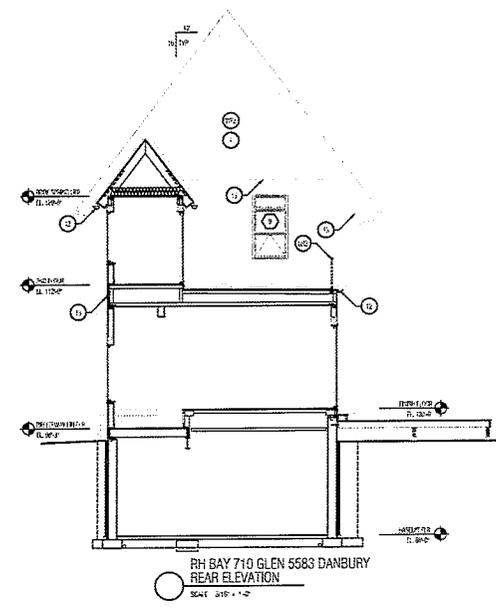
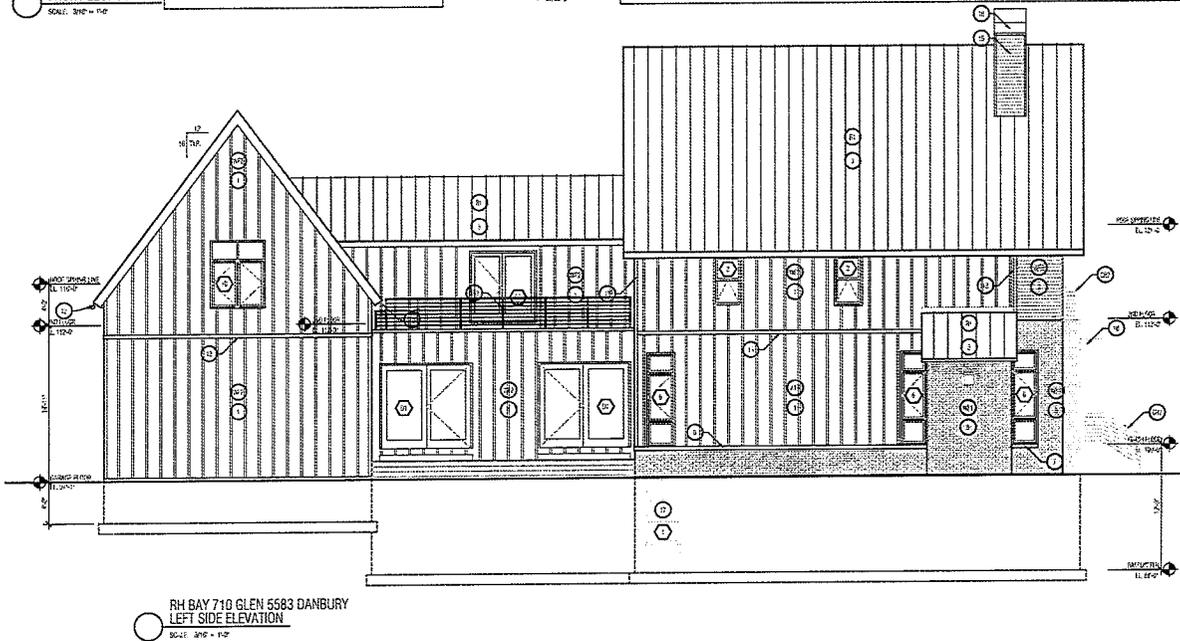
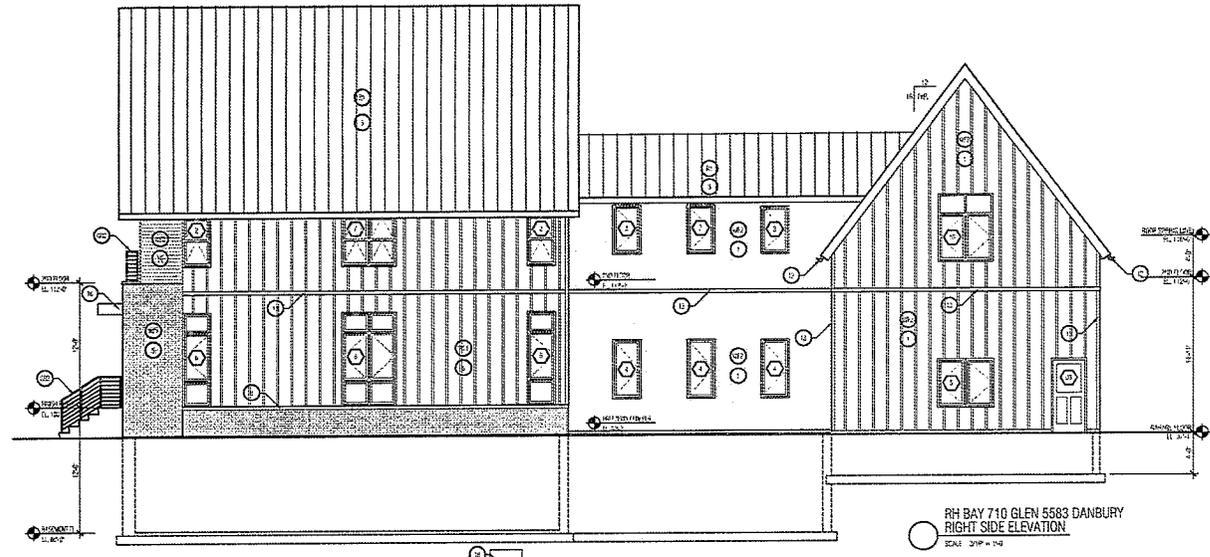
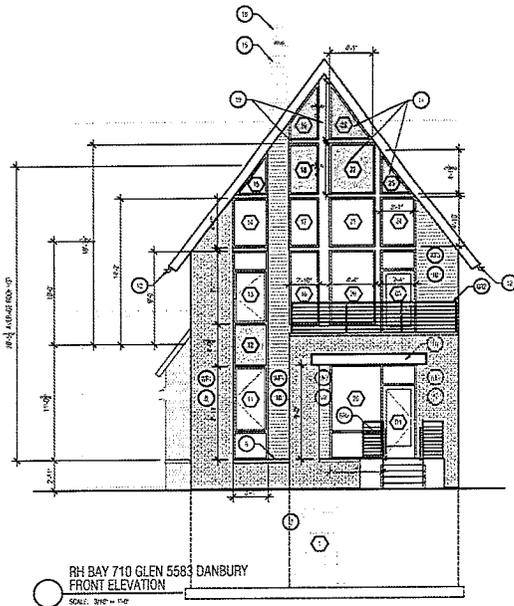
Project
WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
 LOCUS
 WHITEFISH BAY, WI 53211

Sheet
**FLOOR PLANS - 710 E GLEN
 5583 N DANBURY**

Date
 2020-08-18 CDS
 Project No.
 0019-37
 Sheet No.

A1.20



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Project:
WIRED DANBURY GLEN
 E GLEN AVE & N DANBURY RD
 Location:
 WHITEFISH BAY, WI 53211

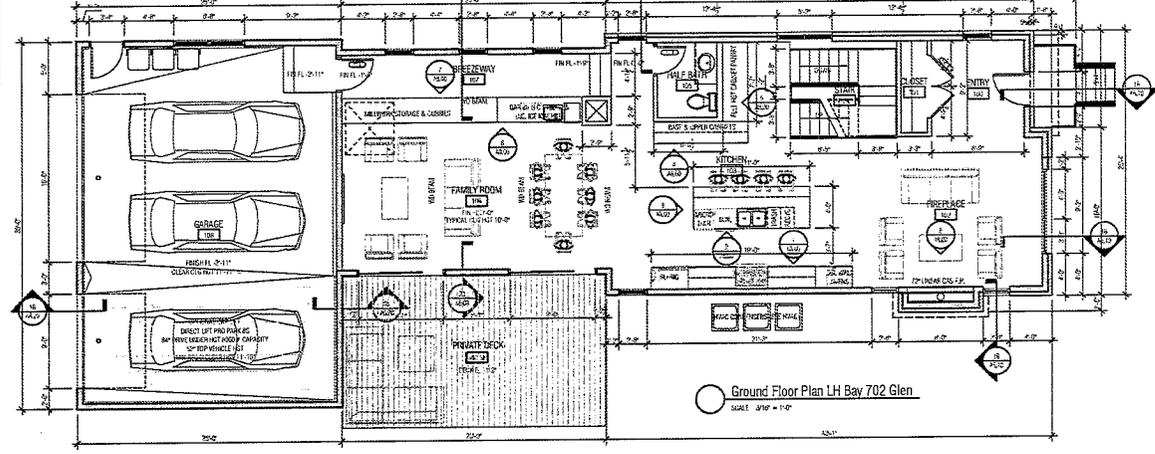
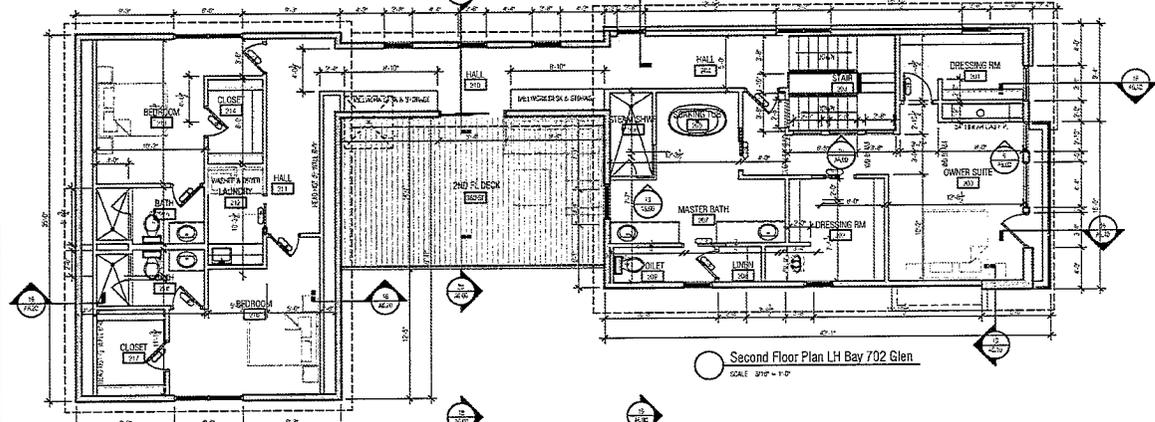
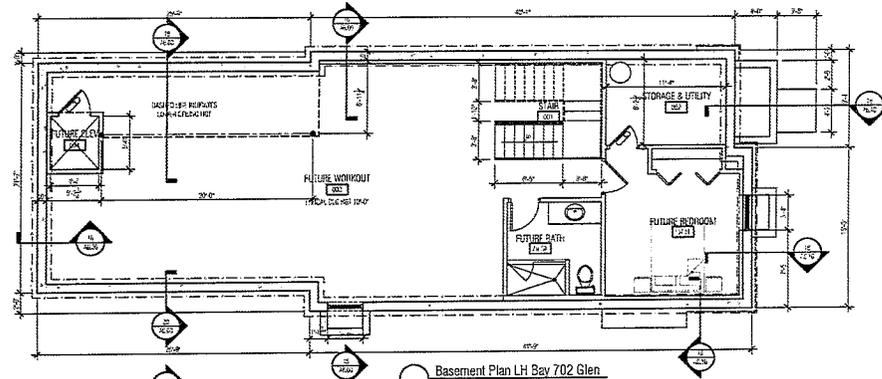
Sheet:
**ELEVATIONS - 710 E GLEN
 5583 N DANBURY**

Date:
 2020-08-18 CDS
 Project No.:
 0019-37
 Sheet No.:

A1.21

ROOM FINISH SCHEDULE											
ROOM	AREA	FLOOR	BASE	WALLS	CEILING	REMARKS					
No	NAME	MATL	EXP-SC	NORTH	EAST	SOUTH	WEST	MATL	HEIGHT		
001	STAIR	92 SF	EXP-SC	PT	PT	PT	PT	PT	10'-0"		
001	FUTURE BATH	78 SF	--	--	--	--	--	--	10'-0"		
001	FUTURE BEDROOM	157 SF	--	--	--	--	--	--	10'-0"		
002	STORAGE & UTILITY	93 SF	EXP-SC	PT	PT	PT	PT	PT	10'-0"		
003	FUTURE WORKOUT	903 SF	EXP-SC	PT	PT	PT	PT	PT	10'-0"		
004	FUTURE ELEV	23 SF	SC	--	GWB	GWB	GWB	GWB	10'-0"		
100	ENTRY	80 SF	WD	WB	PT	PT	PT	PT	10'-0"		
101	CLOSET	22 SF	WD	WB	PT	PT	PT	PT	10'-0"		
102	PEREGRINE	257 SF	WD	WB	PT	PT	PT	PT	10'-0"		
103	KITCHEN	401 SF	WD	WB	PT	PT	PT	PT	10'-0"		
104	STAIR	92 SF	--	--	--	--	--	--	10'-0"		
105	HALF BATH	41 SF	CT	CT	CT	CT	CT	CT	9'-0"		
106	FAMILY ROOM	406 SF	WD	WB	PT	PT	PT	PT	10'-0"		
107	BREEZEWAY	135 SF	WD	WB	PT	PT	PT	PT	10'-0"		
108	GARAGE	816 SF	EPOXY	PT	PT	PT	PT	PT	12'-0"		
200	OWNER SUITE	266 SF	WD	WB	PT	PT	PT	PT	10'-0"	SLOPED CEILING	
201	DRESSING RM	72 SF	WD	WB	PT	PT	PT	PT	10'-0"		
202	DRESSING RM	65 SF	WD	WB	PT	PT	PT	PT	10'-0"		
203	STAIR	92 SF	--	--	--	--	--	--	10'-0"	OPEN STAIR	
204	HALL	87 SF	WD	WB	PT	PT	PT	PT	10'-0"		
206	SOAKING TUB	65 SF	CT	CT	PT	PT	PT	PT	10'-0"		
206	STEAM SHWR	32 SF	CT	CT	CT	CT	CT	CT	10'-0"		
207	MASTER BATH	161 SF	CT	CT	PT	PT	PT	PT	10'-0"		
208	LUNEN	119 SF	WD	WB	PT	PT	PT	PT	10'-0"		
209	TOILET	32 SF	CT	CT	PT	PT	PT	PT	10'-0"		
210	HALL	151 SF	WD	WB	PT	PT	PT	PT	10'-0"		
211	HALL	100 SF	WD	WB	PT	PT	PT	PT	10'-0"		
212	LAUNDRY	48 SF	SV	WB	PT	PT	PT	PT	9'-0"		
213	BEDROOM	159 SF	CPT	WB	PT	PT	PT	PT	10'-0"		
214	CLOSET	41 SF	CPT	WB	PT	PT	PT	PT	9'-0"		
215	BATH	54 SF	CT	CT	CT	CT	CT	CT	9'-0"		
216	BEDROOM	173 SF	CPT	WB	PT	PT	PT	PT	10'-0"		
217	CLOSET	53 SF	CPT	WB	PT	PT	PT	PT	9'-0"		
218	BATH	54 SF	CT	CT	CT	CT	CT	CT	9'-0"		

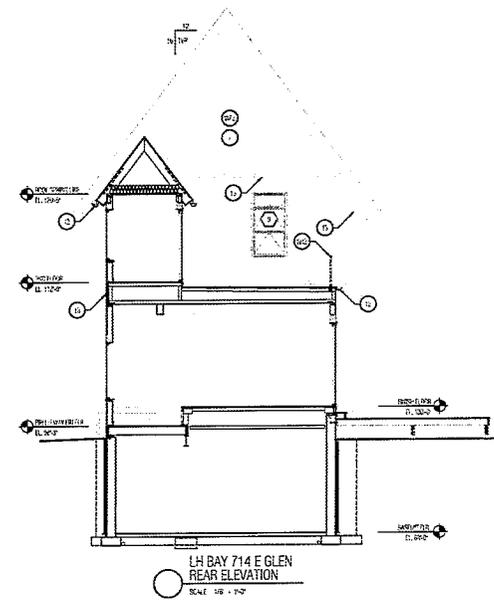
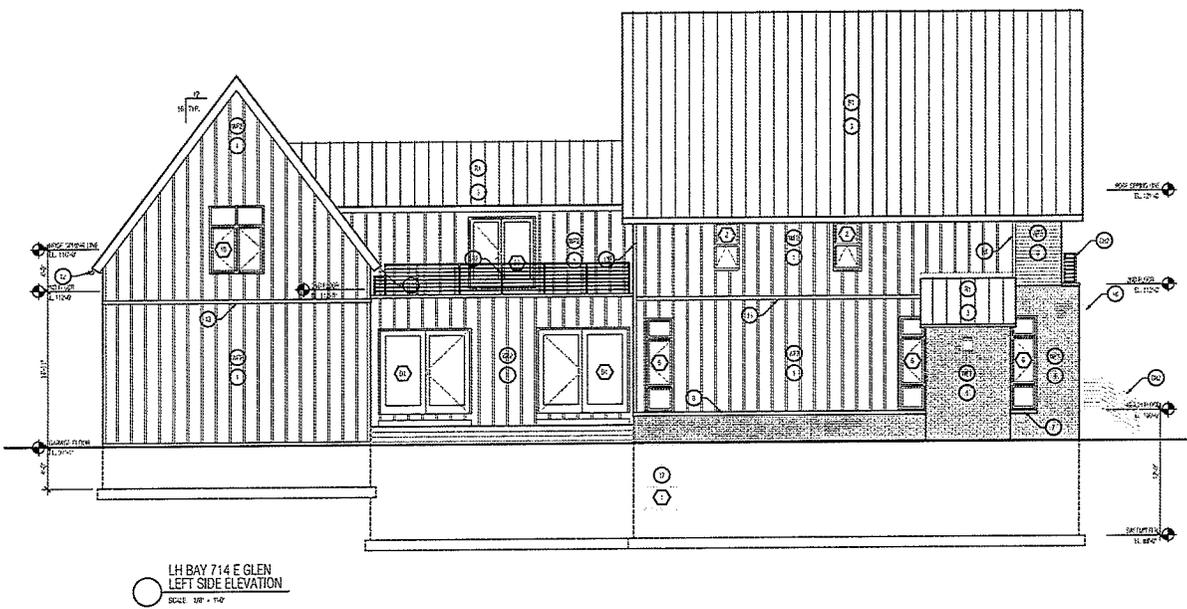
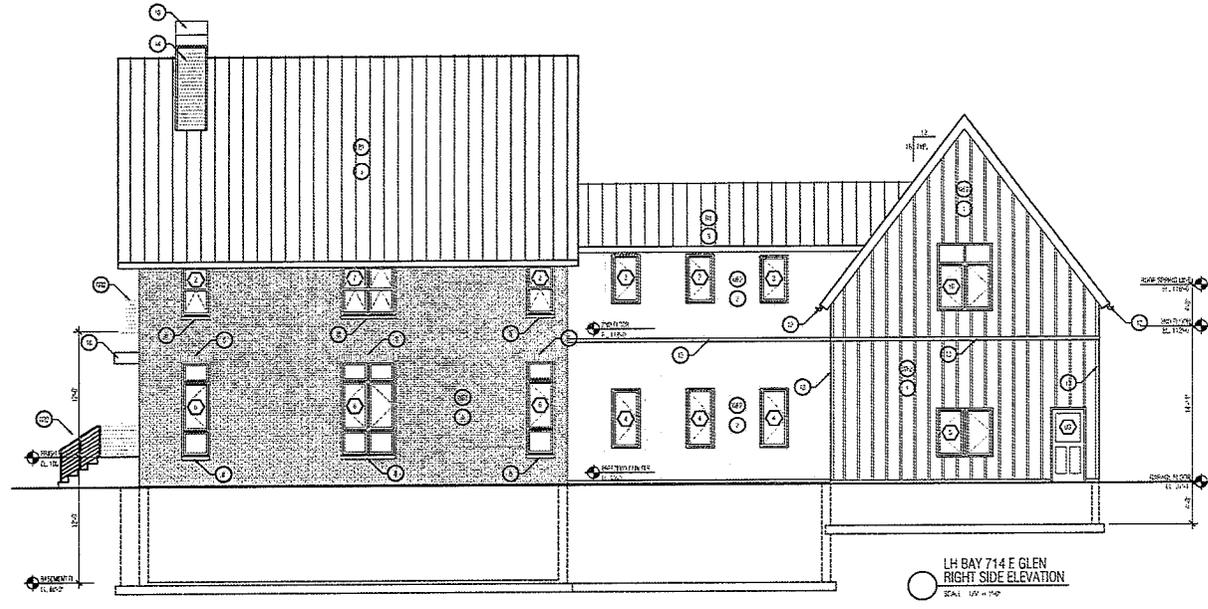
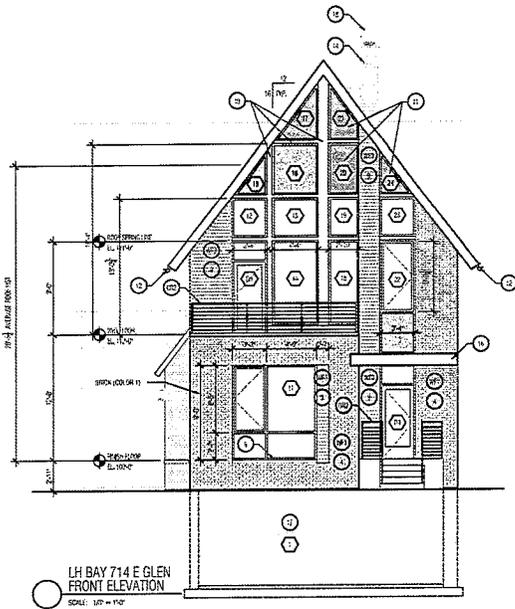
DOOR AND FRAME SCHEDULE													
No.	DOOR	WIDTH	HEIGHT	TYPE	MATL	FINISH	FRAME	MATL	FINISH	HEAD	JAMB	HARDWARE	REMARKS
101A	6'-0"	8'-0"	B	WD	PT	1	WD	PT	--	--	--	HS-1	CASEWORK DOOR
102A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-3	
107A	3'-0"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-2	
2A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-1	
200A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-1	
200A	3'-0"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-3	
202A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-4	
205A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-4	
205A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-4	
205A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-1	
212A	3'-0"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-4	
213A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-3	
214A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-1	
215A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-1	
216A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-3	
216A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-1	
218A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-3	
4A	13'-0"	7'-0"	A	WD	PT	1	WD	PT	--	--	--	HS-1	



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Project:
WIRED DANBURY GLEN
 E GLEN AVE & N DANBURY RD
 WHITEFISH BAY, WI 53211

Client:
FLOOR PLANS - 714 E GLEN RD
 Date:
2020-08-18 CDS
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0019-37
 Sheet No.
A1.30



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the Consortium ae LLC
708 N Water Gate 1228 | Milwaukee | WI 53202 | Greg Prussin Principal
414.441.1474

Project:
WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
Location:
WHITEFISH BAY, WI 53211

Sheet:
ELEVATIONS - 714 E GLEN RD

Date:
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Project No.:
0019-37

Sheet No.:
A1.31

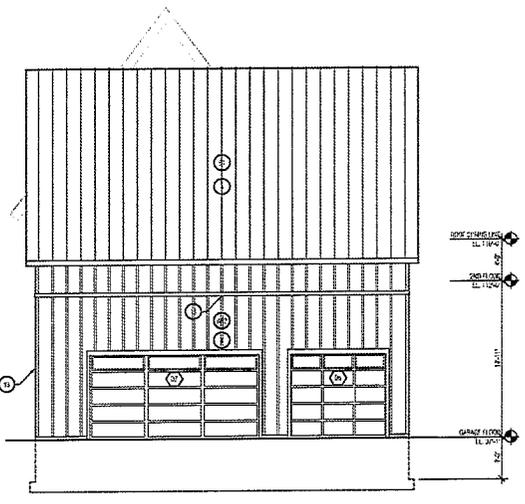
EXTERIOR WINDOW & DOOR SCHEDULE										
MARK	QUAN-TITY	NOMINAL SIZE WIDTH HEIGHT	ROUGH OPENING WIDTH HEIGHT	HEAD HGT	TYPE	MATERIAL	NOTES			
1	2	41.5 77	42 77.5	9'-0"	SH	FG	SH 59.5" EGRESS TRANSOM 17.5" FX			
2	4	31.5 59	32 59.5	7'-0"	SH	FG				
3	3	31.5 53.5	32 54	7'-0"	CASE	FG				
4	3	31.5 65.5	32 66	8'-0"	CASE	FG				
5	1	63.5 59.5	64 60	7'-0"	CASE	FG	(2) WIDE CASEMENT			
6	5	31.5 106.5	32 107	9'-0"	CASE	FG	LOWER 29.5" FX CASE 53.5" TRANSOM 23.5" FX			
7	1	63.5 59	64 59.5	7'-0"	SH	FG	(2) WIDE SINGLE HUNG			
8	1	63.5 106.5	64 107	9'-0"	CASE	FG	(2) CASE 53.5" EGRESS TRANSOM 23.5" FX			
9	1	41.5 71	42 71.5	8'-6"	SH	FG	SH 53.5" TRANSOM 17.5" FX			
10	2	63.5 77	64 77.5	9'-0"	CASE	FG	(2) CASE 53.5" EGRESS TRANSOM 23.5" FX			
11	1	65.5 107.5	66 108	9'-0"	CASE	FG	(1) 35.5" X 71.5" CASE & (3) FIXED, SEE ELEV			
12	1	39.5 57.5	40 58	14'-2"	FX	FG	FIXED DIRECT SET			
13	1	36.5 48.75	37 49.25	-	FX	FG	FIXED TRIANGLE SPANDREL GL FIELD VERIFY			
14	1	51.5 65.5	52 66	9'-0"	FX	FG	FIXED DIRECT SET			
15	1	51.5 57.5	52 58	14'-2"	FX	FG	FIXED DIRECT SET			
16	1	51.5 57.5	52 58	19'-3.25"	FX	FG	FIXED DIRECT SET - SPANDREL GL			
17	1	49 65.375	48.5 64.875	-	FX	FG	FIXED TRIANGLE SPANDREL GL FIELD VERIFY			
18	1	33.5 85.5	34 86	9'-0"	FX	FG	FIXED DIRECT SET			
19	1	33.5 57.5	34 58	14'-2"	FX	FG	FIXED DIRECT SET			
20	1	33.5 57.5	34 58	19'-3.25"	FX	FG	FIXED DIRECT SET - SPANDREL GL			
21	1	33.5 65.375	34 64.875	-	FX	FG	FIXED TRAPEZOIDAL SPANDREL GL FIELD VERIFY			
22	1	39.5 120.25	40 120.75	9'-0"	FX	FG	34.75" FX SPANDREL 85.5" FX DIRECT SET			
23	1	39.5 57.5	40 58	14'-2"	FX	FG	FIXED DIRECT SET			
24	1	36.5 48.875	37 49.375	-	FX	FG	FIXED TRIANGLE SPANDREL GL FIELD VERIFY			
D1	2	66 96	66 96	8'-0"	SL	FG	8' x 8' SLID'G DR (1) LEFT (1) RIGHT VENT W/ SCR			
D2	1	72 80	72 80	6'-8"	SL	FG	6' x 7' SLID'G DR LEFT VENT W/ SCREEN			
D3	1	36 84	36.25 86.125	7'-0"	DR	FG	36" x 84" INSULATED 1/2 LITE 2 PANEL			
D4	1	36 108	36 108	9'-0"	DR	FG	36" x 84" GL ENTRY DOOR W/ FX TRANSOM			
D5	1	36 108	36 108	9'-0"	DR	FG	36" x 84" GL ENTRY W/ FX TRANSOM & SCR DR			
D6	1	66 96	66 96	8'-0"	OH	AL	8' x 8' O.H. DR W/ WALL MTD MOTOR DRIVE			
D7	1	192 96	193 97	8'-0.5"	OH	AL	16' x 8' O.H. DR W/ WALL MTD MOTOR DRIVE			

GENERAL FENESTRATION NOTES:
 SPECIFICATION BASED ON PELLA IMPERVIA FIBERGLASS WINDOW & DOOR SYSTEMS, CLEAR, INSULATED, ARGON FILLED LOW-E, SOUND GLASS. PROVIDE SCREEN ON OPERABLE UNITS, PREFINISHED BLACK EXTERIOR & INTERIOR. PROVIDE ALTERNATE WHITE PREFINISHED INTERIOR. PROVIDE WALL FIN, NO EXTERIOR TRIM. MATCHING PAINTING MATERIAL AS NECESSARY FOR FRONT WINDOW WALL. SPANDREL GLASS (NON VISION) UNITS TO BE INSULATED CERAMIC FRIT. PROVIDE SAFETY GLAZING WHERE REQUIRED BY CODE.
 GARAGE DOORS EQUAL TO OVERHEAD DOOR CO, MODEL 9920 ALUMINUM, INSULATED (521 FRAME) BLACK FINISH W/ INSUL IMPACT FROSTED POLYCARBONATE AND INFINITY SERIES 2000 DIRECT DRIVE WALL MTD MOTOR DRIVE.

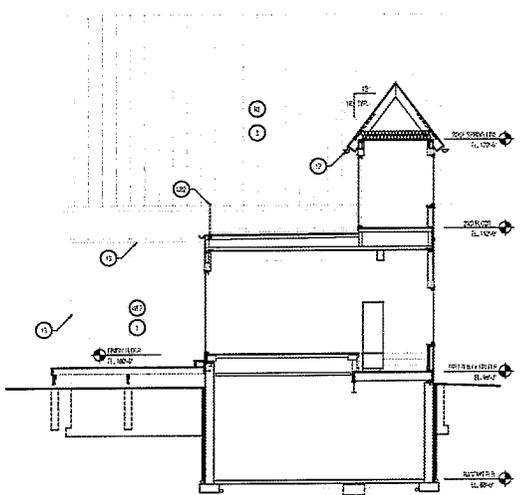
SH - SINGLE HUNG
 CASE - CASEMENT
 PAT - PATIO DOOR
 FIXED - FIXED GLAZING UNIT
 EGRESS - SLEEPING UNIT EGRESS COMPLIANT WINDOW

LWR - LOWER
 FG - FIBERGLASS
 FX - FIXED
 SCR - SCREEN

DR - DOOR
 OH - OVERHEAD DOOR
 SL - SLIDING DOOR
 AL - ALUMINUM



714 E GLEN ALLEY ELEVATION
 SCALE: 3/16" = 1'-0"



714 E GLEN GARAGE FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

CONSTRUCTION SYSTEM KEYNOTES	
(1)	INTERIOR SYSTEM
(2)	EXTERIOR SYSTEM
(3)	INTERIOR SYSTEM - FIBERGLASS
(4)	EXTERIOR SYSTEM - FIBERGLASS
(5)	INTERIOR SYSTEM - ALUMINUM
(6)	EXTERIOR SYSTEM - ALUMINUM
(7)	INTERIOR SYSTEM - STEEL
(8)	EXTERIOR SYSTEM - STEEL
(9)	INTERIOR SYSTEM - CONCRETE
(10)	EXTERIOR SYSTEM - CONCRETE
(11)	INTERIOR SYSTEM - BRICK
(12)	EXTERIOR SYSTEM - BRICK
(13)	INTERIOR SYSTEM - STONE
(14)	EXTERIOR SYSTEM - STONE
(15)	INTERIOR SYSTEM - TILE
(16)	EXTERIOR SYSTEM - TILE
(17)	INTERIOR SYSTEM - CARPET
(18)	EXTERIOR SYSTEM - CARPET
(19)	INTERIOR SYSTEM - WOOD
(20)	EXTERIOR SYSTEM - WOOD
(21)	INTERIOR SYSTEM - GLASS
(22)	EXTERIOR SYSTEM - GLASS
(23)	INTERIOR SYSTEM - METAL
(24)	EXTERIOR SYSTEM - METAL
(25)	INTERIOR SYSTEM - PLASTER
(26)	EXTERIOR SYSTEM - PLASTER
(27)	INTERIOR SYSTEM - GYPSUM
(28)	EXTERIOR SYSTEM - GYPSUM
(29)	INTERIOR SYSTEM - PAINT
(30)	EXTERIOR SYSTEM - PAINT
(31)	INTERIOR SYSTEM - CEILING
(32)	EXTERIOR SYSTEM - CEILING
(33)	INTERIOR SYSTEM - FLOOR
(34)	EXTERIOR SYSTEM - FLOOR
(35)	INTERIOR SYSTEM - WALL
(36)	EXTERIOR SYSTEM - WALL
(37)	INTERIOR SYSTEM - ROOF
(38)	EXTERIOR SYSTEM - ROOF
(39)	INTERIOR SYSTEM - FOUNDATION
(40)	EXTERIOR SYSTEM - FOUNDATION
(41)	INTERIOR SYSTEM - FINISH
(42)	EXTERIOR SYSTEM - FINISH
(43)	INTERIOR SYSTEM - INSULATION
(44)	EXTERIOR SYSTEM - INSULATION
(45)	INTERIOR SYSTEM - GLAZING
(46)	EXTERIOR SYSTEM - GLAZING
(47)	INTERIOR SYSTEM - DOOR
(48)	EXTERIOR SYSTEM - DOOR
(49)	INTERIOR SYSTEM - WINDOW
(50)	EXTERIOR SYSTEM - WINDOW
(51)	INTERIOR SYSTEM - PARTITION
(52)	EXTERIOR SYSTEM - PARTITION
(53)	INTERIOR SYSTEM - STAIR
(54)	EXTERIOR SYSTEM - STAIR
(55)	INTERIOR SYSTEM - ELEVATOR
(56)	EXTERIOR SYSTEM - ELEVATOR
(57)	INTERIOR SYSTEM - MECHANICAL
(58)	EXTERIOR SYSTEM - MECHANICAL
(59)	INTERIOR SYSTEM - ELECTRICAL
(60)	EXTERIOR SYSTEM - ELECTRICAL
(61)	INTERIOR SYSTEM - PLUMBING
(62)	EXTERIOR SYSTEM - PLUMBING
(63)	INTERIOR SYSTEM - HVAC
(64)	EXTERIOR SYSTEM - HVAC
(65)	INTERIOR SYSTEM - LIGHTING
(66)	EXTERIOR SYSTEM - LIGHTING
(67)	INTERIOR SYSTEM - SOUND
(68)	EXTERIOR SYSTEM - SOUND
(69)	INTERIOR SYSTEM - SECURITY
(70)	EXTERIOR SYSTEM - SECURITY
(71)	INTERIOR SYSTEM - ACCESSIBILITY
(72)	EXTERIOR SYSTEM - ACCESSIBILITY
(73)	INTERIOR SYSTEM - SUSTAINABILITY
(74)	EXTERIOR SYSTEM - SUSTAINABILITY
(75)	INTERIOR SYSTEM - HISTORIC PRESERVATION
(76)	EXTERIOR SYSTEM - HISTORIC PRESERVATION
(77)	INTERIOR SYSTEM - MONUMENTAL
(78)	EXTERIOR SYSTEM - MONUMENTAL
(79)	INTERIOR SYSTEM - SPECIALTY
(80)	EXTERIOR SYSTEM - SPECIALTY
(81)	INTERIOR SYSTEM - ART
(82)	EXTERIOR SYSTEM - ART
(83)	INTERIOR SYSTEM - LANDSCAPE
(84)	EXTERIOR SYSTEM - LANDSCAPE
(85)	INTERIOR SYSTEM - SITEWORK
(86)	EXTERIOR SYSTEM - SITEWORK
(87)	INTERIOR SYSTEM - UTILITIES
(88)	EXTERIOR SYSTEM - UTILITIES
(89)	INTERIOR SYSTEM - FINISH
(90)	EXTERIOR SYSTEM - FINISH
(91)	INTERIOR SYSTEM - FINISH
(92)	EXTERIOR SYSTEM - FINISH
(93)	INTERIOR SYSTEM - FINISH
(94)	EXTERIOR SYSTEM - FINISH
(95)	INTERIOR SYSTEM - FINISH
(96)	EXTERIOR SYSTEM - FINISH
(97)	INTERIOR SYSTEM - FINISH
(98)	EXTERIOR SYSTEM - FINISH
(99)	INTERIOR SYSTEM - FINISH
(100)	EXTERIOR SYSTEM - FINISH

ELEVATION KEYNOTES	
(1)	PAINT COLOR #1 - EXTERIOR WALLS PER FINISH SPEC SHEET
(2)	PAINT COLOR #2 - INTERIOR WALLS PER FINISH SPEC SHEET
(3)	PAINT COLOR #3 - INTERIOR WALLS PER FINISH SPEC SHEET
(4)	PAINT COLOR #4 - INTERIOR WALLS PER FINISH SPEC SHEET
(5)	PAINT COLOR #5 - INTERIOR WALLS PER FINISH SPEC SHEET
(6)	PAINT COLOR #6 - INTERIOR WALLS PER FINISH SPEC SHEET
(7)	PAINT COLOR #7 - INTERIOR WALLS PER FINISH SPEC SHEET
(8)	PAINT COLOR #8 - INTERIOR WALLS PER FINISH SPEC SHEET
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(10)	PAINT COLOR #10 - INTERIOR WALLS PER FINISH SPEC SHEET
(11)	PAINT COLOR #11 - INTERIOR WALLS PER FINISH SPEC SHEET
(12)	PAINT COLOR #12 - INTERIOR WALLS PER FINISH SPEC SHEET
(13)	PAINT COLOR #13 - INTERIOR WALLS PER FINISH SPEC SHEET
(14)	PAINT COLOR #14 - INTERIOR WALLS PER FINISH SPEC SHEET
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(18)	PAINT COLOR #18 - INTERIOR WALLS PER FINISH SPEC SHEET
(19)	PAINT COLOR #19 - INTERIOR WALLS PER FINISH SPEC SHEET
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(24)	PAINT COLOR #24 - INTERIOR WALLS PER FINISH SPEC SHEET
(25)	PAINT COLOR #25 - INTERIOR WALLS PER FINISH SPEC SHEET
(26)	PAINT COLOR #26 - INTERIOR WALLS PER FINISH SPEC SHEET
(27)	PAINT COLOR #27 - INTERIOR WALLS PER FINISH SPEC SHEET
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(30)	PAINT COLOR #30 - INTERIOR WALLS PER FINISH SPEC SHEET
(31)	PAINT COLOR #31 - INTERIOR WALLS PER FINISH SPEC SHEET
(32)	PAINT COLOR #32 - INTERIOR WALLS PER FINISH SPEC SHEET
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(34)	PAINT COLOR #34 - INTERIOR WALLS PER FINISH SPEC SHEET
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(36)	PAINT COLOR #36 - INTERIOR WALLS PER FINISH SPEC SHEET
(37)	PAINT COLOR #37 - INTERIOR WALLS PER FINISH SPEC SHEET
(38)	PAINT COLOR #38 - INTERIOR WALLS PER FINISH SPEC SHEET
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(40)	PAINT COLOR #40 - INTERIOR WALLS PER FINISH SPEC SHEET
(41)	PAINT COLOR #41 - INTERIOR WALLS PER FINISH SPEC SHEET
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(91)	PAINT COLOR #91 - INTERIOR WALLS PER FINISH SPEC SHEET
(92)	PAINT COLOR #92 - INTERIOR WALLS PER FINISH SPEC SHEET
(93)	PAINT COLOR #93 - INTERIOR WALLS PER FINISH SPEC SHEET
(94)	PAINT COLOR #94 - INTERIOR WALLS PER FINISH SPEC SHEET
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(96)	PAINT COLOR #96 - INTERIOR WALLS PER FINISH SPEC SHEET
(97)	PAINT COLOR #97 - INTERIOR WALLS PER FINISH SPEC SHEET
(98)	PAINT COLOR #98 - INTERIOR WALLS PER FINISH SPEC SHEET
(99)	PAINT COLOR #99 - INTERIOR WALLS PER FINISH SPEC SHEET
(100)	PAINT COLOR #100 - INTERIOR WALLS PER FINISH SPEC SHEET

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758 N Water Street 1228 | Milwaukee | WI 53202 | Phone: 414.442.1414

Project
WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
 GLENDALE
 WHITEFISH BAY, WI 53211

Client
**ELEVATIONS - GARAGE
 714 E GLEN RD**

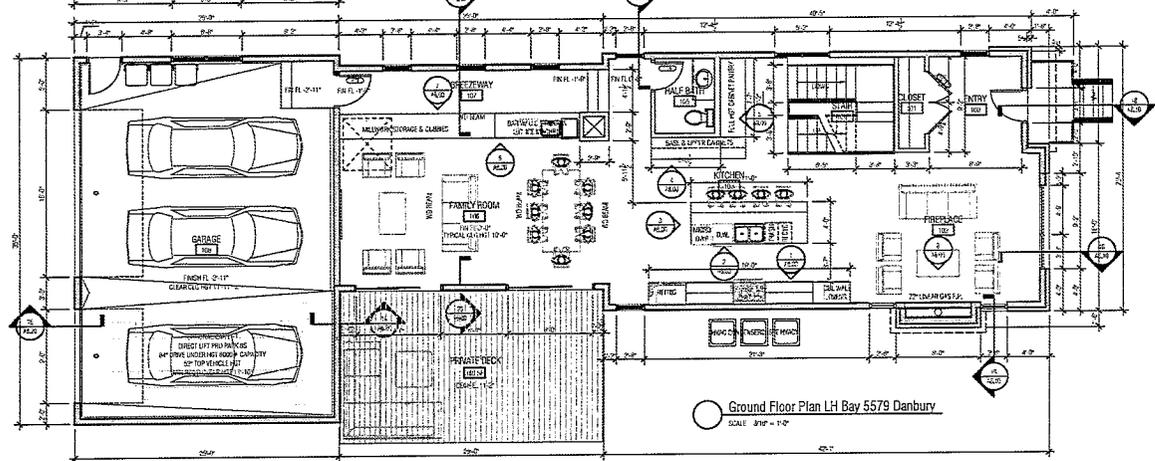
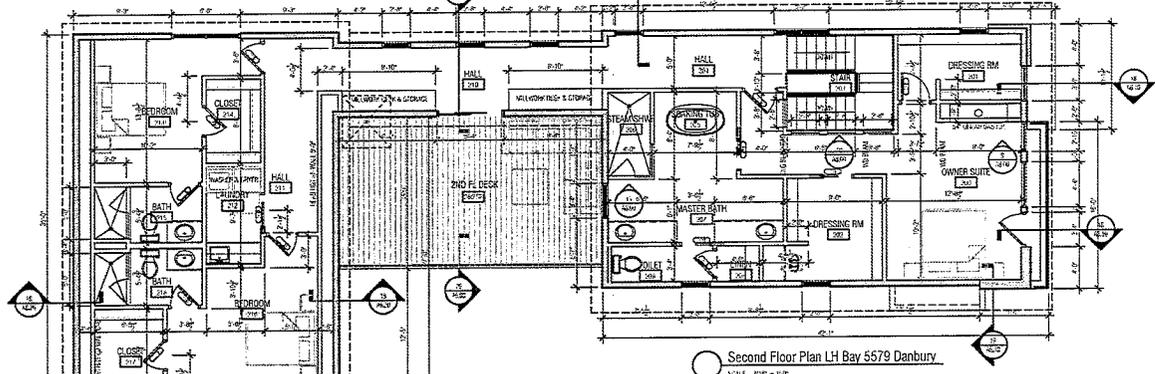
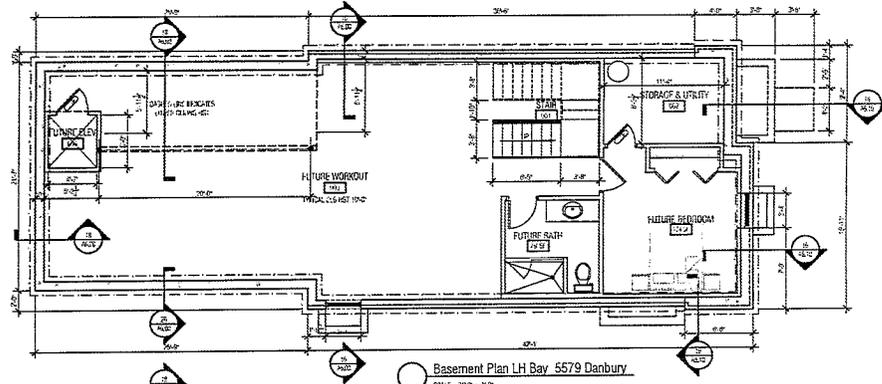
Date
2020-08-18 CDS

Project No.
0019-37

Sheet No.
A1.32

ROOM FINISH SCHEDULE										
ROOM No.	NAME	AREA	FLOOR	WALLS	CEILING	REMARKS				
001	STAIR	92 SF	EXP-SC	PT	PT	PT	PT	PT	PT	10'-0"
001	FUTURE BATH	79 SF	---	---	---	---	---	---	---	10'-0"
001	FUTURE BEDROOM	174 SF	---	---	---	---	---	---	---	10'-0"
002	STORAGE & UTILITY	93 SF	EXP-SC	PT	PT	PT	PT	PT	PT	10'-0"
003	FUTURE WORKOUT	963 SF	EXP-SC	PT	PT	PT	PT	PT	PT	10'-0"
004	FUTURE ELEV	72 SF	SC	---	---	---	---	---	---	10'-0"
100	ENTRY	80 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
101	CLOSET	22 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
102	FIREPLACE	257 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
103	KITCHEN	401 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
104	STAIR	92 SF	---	---	---	---	---	---	---	10'-0"
105	HALF BATH	41 SF	CT	CT	CT	CT	CT	CT	CT	9'-0"
106	FAMILY ROOM	408 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
107	BREEZEWAY	135 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
108	GARAGE	1810 SF	EPDM	---	---	---	---	---	---	SLOPED CEILING
200	OWNER SUITE	126 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
201	DRESSING RM	72 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
202	DRESSING RM	96 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
203	STAIR	92 SF	---	---	---	---	---	---	---	OPEN STAIR
204	HALL	87 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
205	SOAKING TUB	55 SF	CT	CT	CT	CT	CT	CT	CT	10'-0"
206	STEAM SHWR	32 SF	CT	CT	CT	CT	CT	CT	CT	10'-0"
207	MASTER BATH	101 SF	CT	CT	CT	CT	CT	CT	CT	10'-0"
208	LINEN	13 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
209	TOILET	32 SF	CT	CT	CT	CT	CT	CT	CT	10'-0"
210	HALL	151 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
211	HALL	100 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
212	LAUNDRY	48 SF	SV	WB	PT	PT	PT	PT	PT	9'-0"
213	BEDROOM	159 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
214	CLOSET	41 SF	WD	WB	PT	PT	PT	PT	PT	9'-0"
215	BATH	54 SF	CT	CT	CT	CT	CT	CT	CT	9'-0"
216	BEDROOM	179 SF	WD	WB	PT	PT	PT	PT	PT	10'-0"
217	CLOSET	53 SF	WD	WB	PT	PT	PT	PT	PT	9'-0"
218	BATH	54 SF	CT	CT	CT	CT	CT	CT	CT	9'-0"

DOOR AND FRAME SCHEDULE												
No.	DOOR	WIDTH	HEIGHT	TYPE	MATL	FINISH	FRAME	MATL	FINISH	DETAIL	HARDWARE	REMARKS
101A	6'-0"	8'-0"	B	WD	ST	1	WD	PT	---	HS-1	---	CASEWORK DOOR
105A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---	---
107A	3'-0"	6'-0"	A	WD	PT	1	WD	PT	---	HS-2	---	---
2A	2'-8"	6'-0"	A	WD	PT	1	WD	PT	---	HS-1	---	---
200A	3'-0"	6'-0"	A	WD	PT	1	WD	PT	---	HS-3	---	---
201A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-1	---	---
202A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-4	---	---
203A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-4	---	---
205A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-1	---	---
206A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-4	---	---
208A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-4	---	---
212A	3'-0"	8'-0"	A	WD	PT	1	WD	PT	---	HS-4	---	---
213A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---	---
214A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-1	---	---
215A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-1	---	---
216A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-1	---	---
217A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---	---
218A	2'-8"	8'-0"	A	WD	PT	1	WD	PT	---	HS-3	---	---
4A	3'-0"	7'-0"	A	WD	PT	1	WD	PT	---	HS-1	---	---



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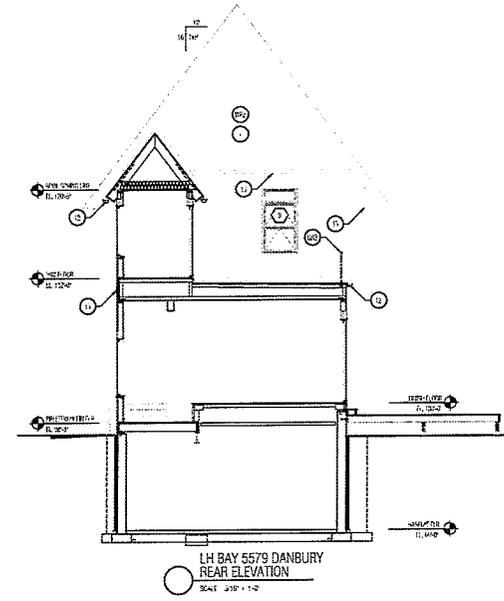
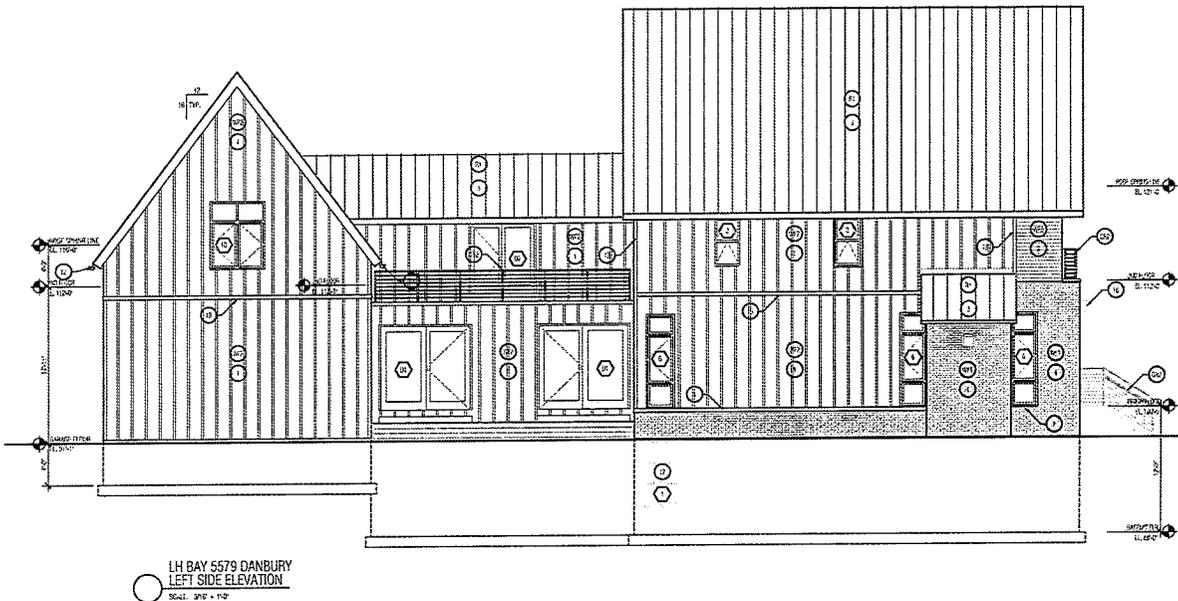
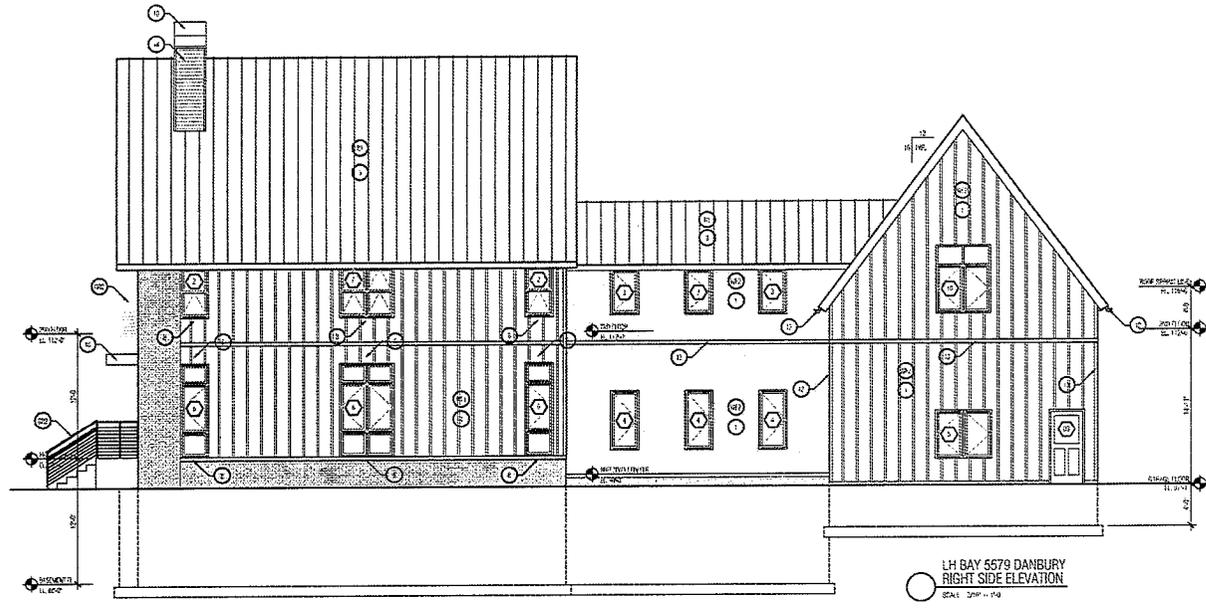
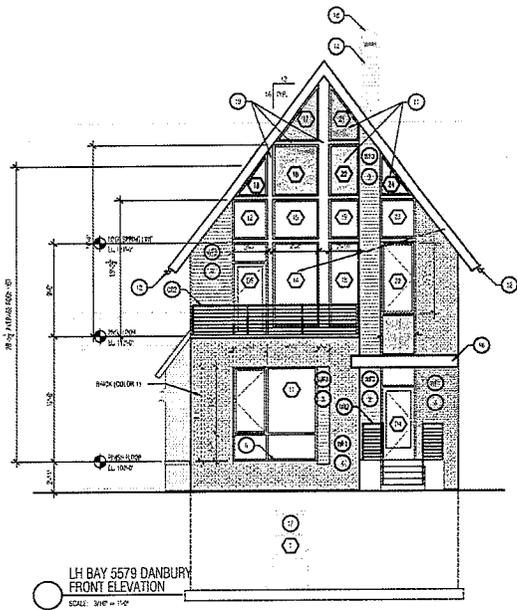
Project: WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
 LOCATION: WHITEFISH BAY, WI 53211

Sheet: FLOOR PLANS - 5579 N DANBURY RD

Date: 2020-08-18 CDS
 Project No.: 0019-37
 Client No.:

A1.40



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728 N Water Street, Suite 1228 | Milwaukee | WI 53233 | Chicago Process Principal
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Project:
WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
Location:
WHITEFISH BAY, WI 53211

Sheet:
ELEVATIONS - 5579 N DANBURY RD

Date:
2020-08-18 CDS

Project No.:

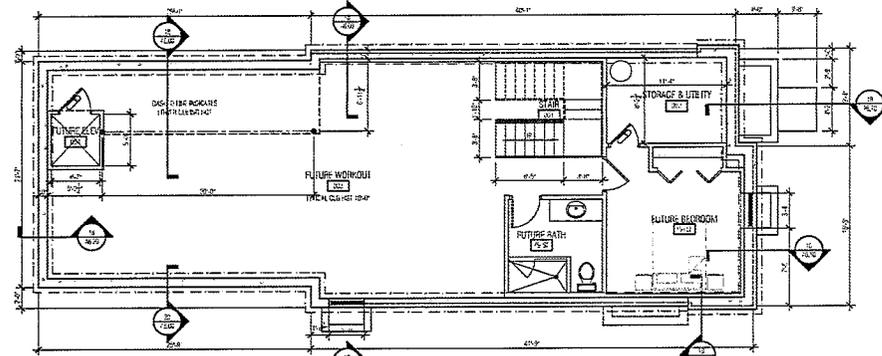
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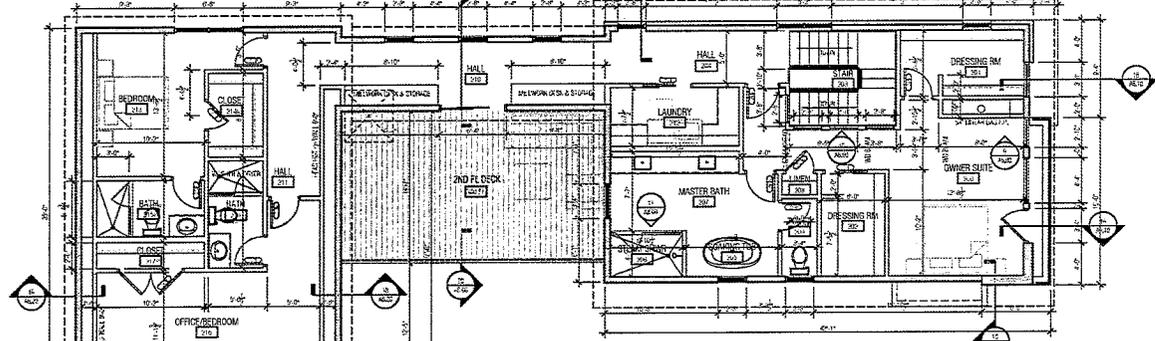
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ROOM FINISH SCHEDULE										
ROOM NO	NAME	AREA	FLOOR	BASE	WALLS	CEILING	HEIGHT	REMARKS		
				NORTH	EAST	SOUTH	WEST			
001	STAIR	62 SF	EXP-SC	PT	PT	PT	PT	10'-0"		
002	STORAGE & UTILITY	63 SF	EXP-SC	PT	PT	PT	PT	10'-0"		
003	FUTURE WORKOUT	903 SF	EXP-SC	PT	PT	PT	PT	10'-0"		
004	FUTURE ELEV	23 SF	SC	GWB	GWB	GWB	GWB	10'-0"		
100	ENTRY	60 SF	WD	WB	PT	PT	PT	10'-0"		
101	CLOSET	22 SF	WD	WB	PT	PT	PT	10'-0"		
102	FIREPLACE	257 SF	WD	WB	PT	PT	PT	10'-0"		
103	KITCHEN	401 SF	WD	WB	PT	PT	PT	10'-0"		
104	STAIR	62 SF						10'-0"		
105	HALF BATH	41 SF	CT	CT	CT	CT	CT	9'-6"		
106	FAMILY ROOM	409 SF	WD	WB	PT	PT	PT	10'-0"		
107	BREKFRM	133 SF	WD	WB	PT	PT	PT	10'-0"		
108	GARAGE	816 SF	SPWY	PT	PT	PT	PT	12'-0"		
200	OWNER SUITE	266 SF	WD	WB	PT	PT	PT	10'-0"	SLOPED CEILING	
201	DRESSING RM	72 SF	WD	WB	PT	PT	PT	10'-0"		
202	DRESSING RM	59 SF	WD1	WB	PT	PT	PT	10'-0"		
203	STAIR	62 SF						10'-0"	OPEN STAIR	
204	HALL	67 SF	WD	WB	PT	PT	PT	10'-0"		
205	SOAKING TUB	38 SF	CT	CT	PT	PT	PT	10'-0"		
206	STEAM SHWR	27 SF	CT	CT	CT	CT	CT	10'-0"		
207	MASTER BATH	112 SF	CT	CT	PT	PT	PT	10'-0"		
208	LUNEN	7 SF	WD1	WB	PT	PT	PT	10'-0"		
209	TOILET	23 SF	CT	CT	PT	PT	PT	10'-0"		
210	HALL	151 SF	WD	WB	PT	PT	PT	10'-0"		
211	HALL	66 SF	WD1	WB	PT	PT	PT	9'-6"		
212	LAUNDRY	66 SF	SV	WB	PT	PT	PT	9'-6"		
213	BEDROOM	169 SF	WD1	WB	PT	PT	PT	10'-0"		
214	CLOSET	41 SF	WD1	WB	PT	PT	PT	9'-6"		
215	BATH	53 SF	CT	CT	CT	CT	CT	9'-6"		
216	OFFICE/BEDROOM	268 SF	WD1	WB	PT	PT	PT	10'-0"		
217	CLOSET	25 SF	WD1	WB	PT	PT	PT	9'-6"		
218	BATH	53 SF	CT	CT	CT	CT	CT	9'-6"		

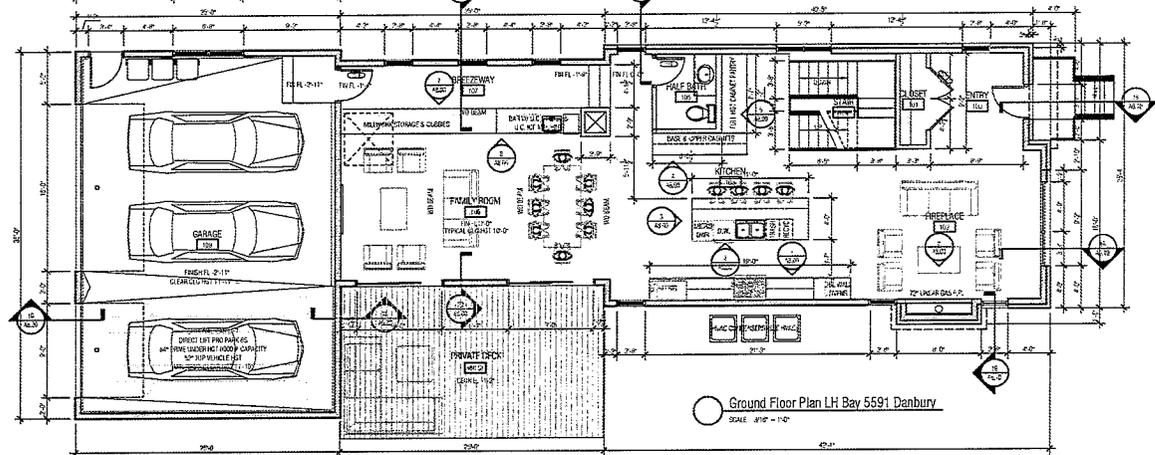
DOOR AND FRAME SCHEDULE												
NO.	DOOR		FRAME		DETAIL		HARDWARE		REMARKS			
	WIDTH	HEIGHT	TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH		HEAD	JAMB	
101A	6'-0"	8'-0"	B	WD	ST	1	WD	PT			HS-1	CASEWORK DOOR
105A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-3	
107A	3'-0"	8'-0"	A	WD	PT	1	WD	PT			HS-2	
2A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-1	
200A	3'-0"	8'-0"	A	WD	PT	1	WD	PT			HS-3	
201A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-1	
202A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-4	
207A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-3	
208A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-1	
209A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-3	
212A	3'-0"	8'-0"	A	WD	PT	1	WD	PT			HS-4	
213A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-3	
214A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-1	
215A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-3	
216A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-3	
217A	8'-0"	8'-0"	A	WD	PT	1	WD	PT			HS-3	
218A	2'-8"	8'-0"	A	WD	PT	1	WD	PT			HS-3	
4A	3'-0"	7'-0"	A	WD	PT	1	WD	PT			HS-1	



Basement Plan LH Bay 5591 Danbury



Second Floor Plan LH Bay 5591 Danbury



Ground Floor Plan LH Bay 5591 Danbury

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 an architectural engineering partnership
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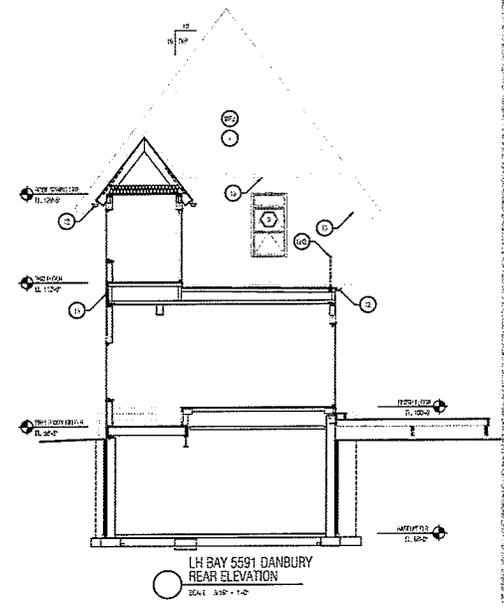
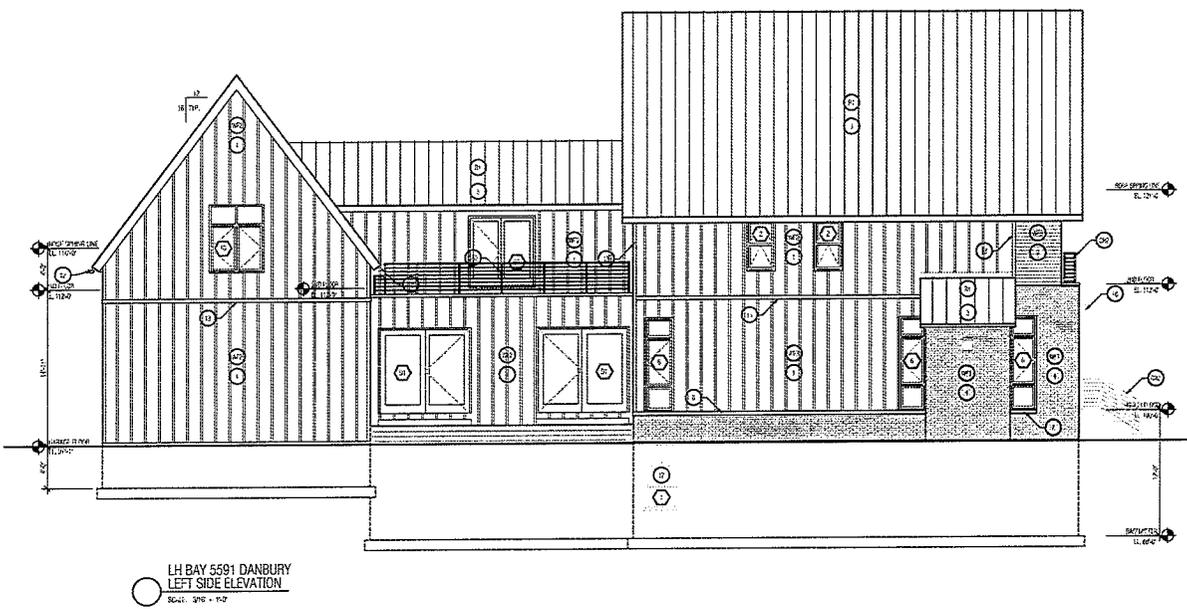
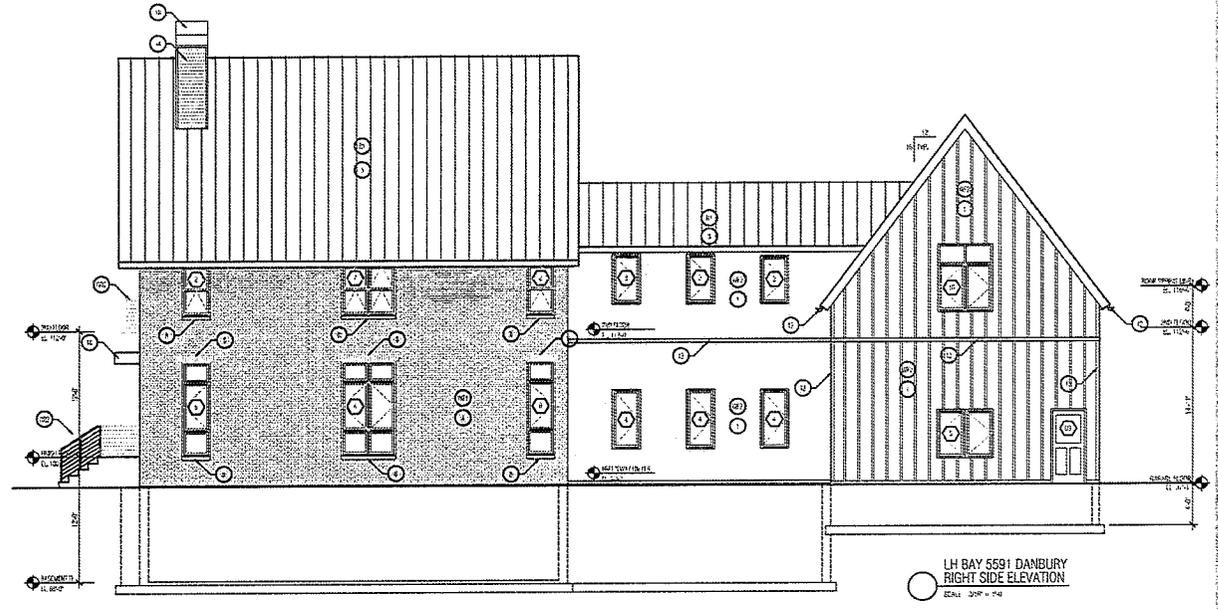
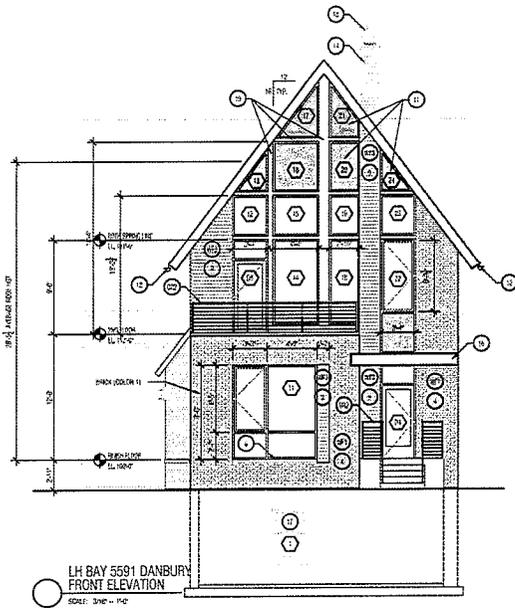
Project:
WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
 WHITEFISH BAY, WI 53211

Sheet:
FLOOR PLANS - 5591 N DANBURY RD

Date:
 2020-08-18 CDS
 Project No:
 0019-37
 Sheet No:

A1.50



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755 N. Vista Lane 1228 | Milwaukee | WI 53202 | Greg Priesen, Principal
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Project:
WIRED DANBURY GLEN

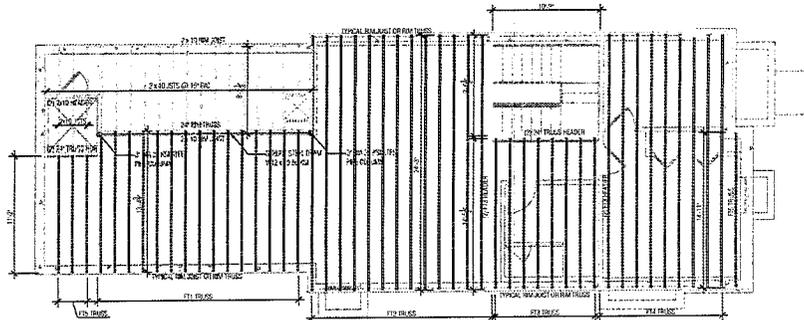
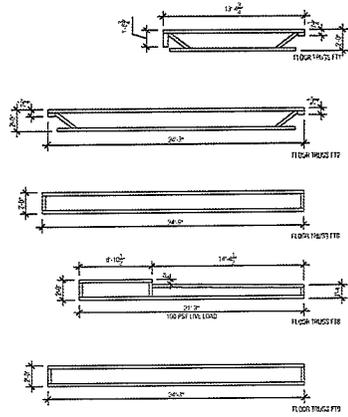
E GLEN AVE & N DANBURY RD
Location:
WHITEFISH BAY, WI 53211

Sheet:
ELEVATIONS - 5591 N DANBURY RD

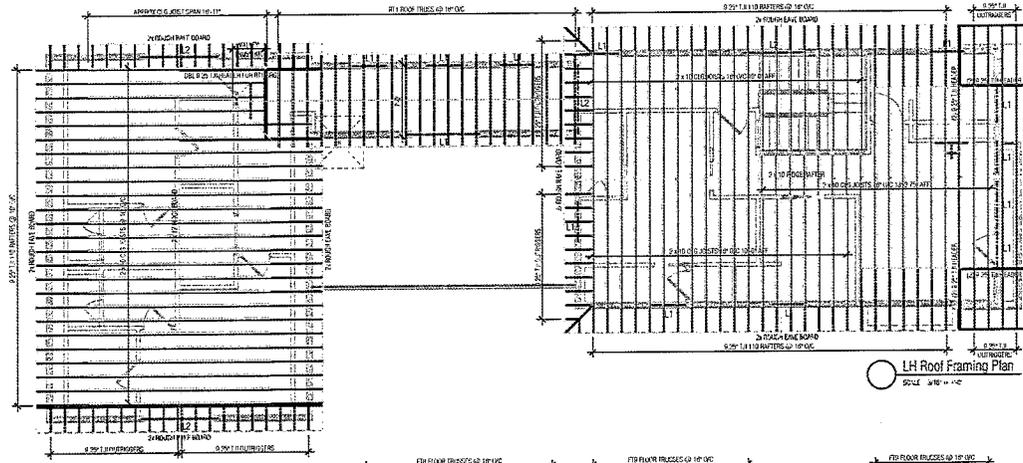
Date:
2020-08-18 CDS

Project No. #:
0019-37

Sheet No. #:
A1.51



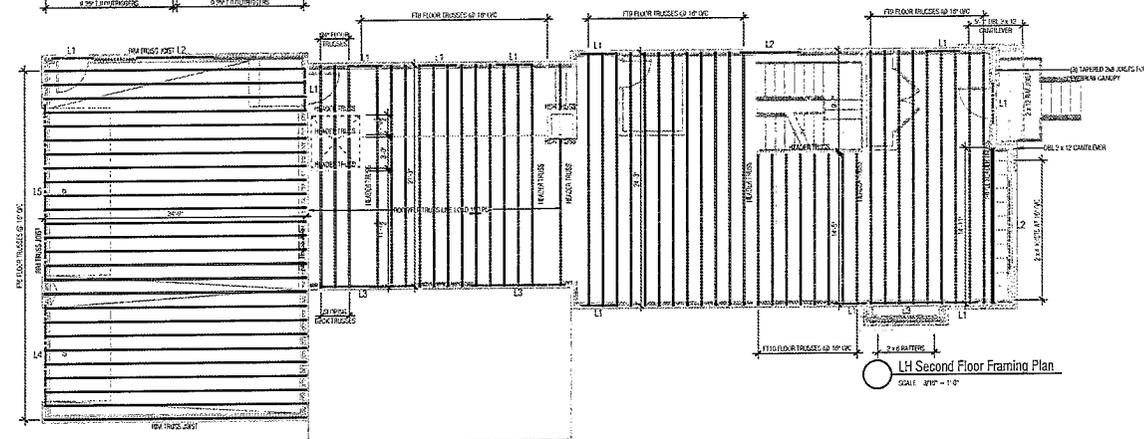
LH Ground Floor Framing Plan
SCALE: 3/8" = 1'-0"



LH Roof Framing Plan
SCALE: 3/8" = 1'-0"

MARK	SPC. DIM.	DESCRIPTION (OR REFERENCED DRAWING)
L1	3	1 5/8" x 7 1/2" S.F. JOIST
L2	4.5	1 5/8" x 7 1/2" S.F. JOIST
L3	4.5	2 1/2" x 11 1/2" S.F. JOIST
L4	5	2 1/2" x 11 1/2" S.F. JOIST
L5	7.5	1 1/2" x 11 1/2" S.F. JOIST

ALL JOIST MATERIALS SHALL BE WHITE PINE OR EQUIVALENT. ALL JOIST MATERIALS SHALL BE KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 19%. ALL JOIST MATERIALS SHALL BE GRADE 1 OR BETTER. ALL JOIST MATERIALS SHALL BE UNLESS OTHERWISE SPECIFIED.



LH Second Floor Framing Plan
SCALE: 3/8" = 1'-0"

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1000 N. Lincoln Blvd. #228 | Milwaukee | WI 53233 | Tel: 414.224.1100 | Fax: 414.224.1101

Project
WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
Landscape
WHITEFISH BAY, WI 53211

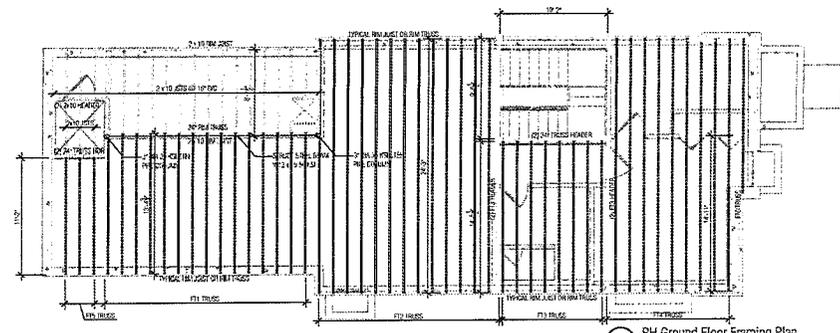
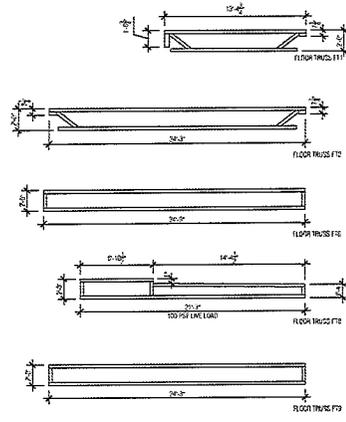
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FRAMING PLANS - LH BAY

Date
2020-08-18 CDS

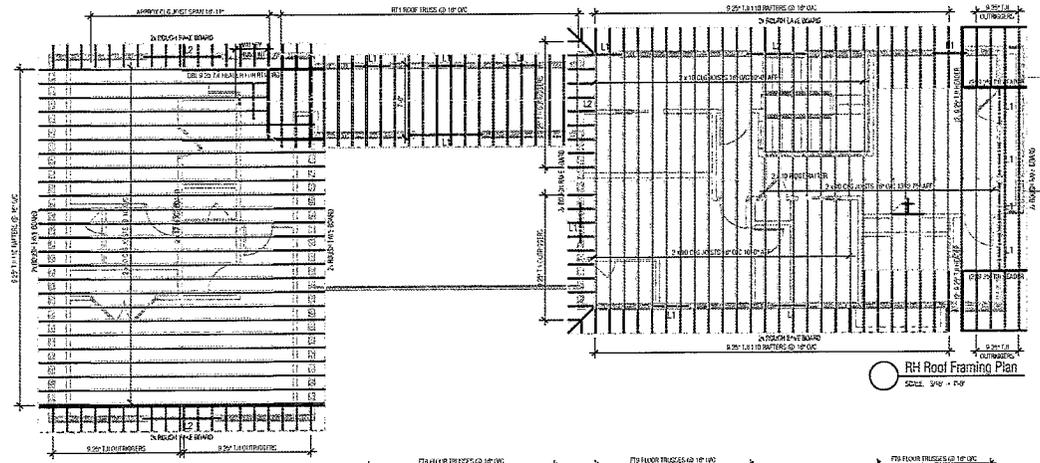
Project No.
0019-37

Sheet No.

A5.10



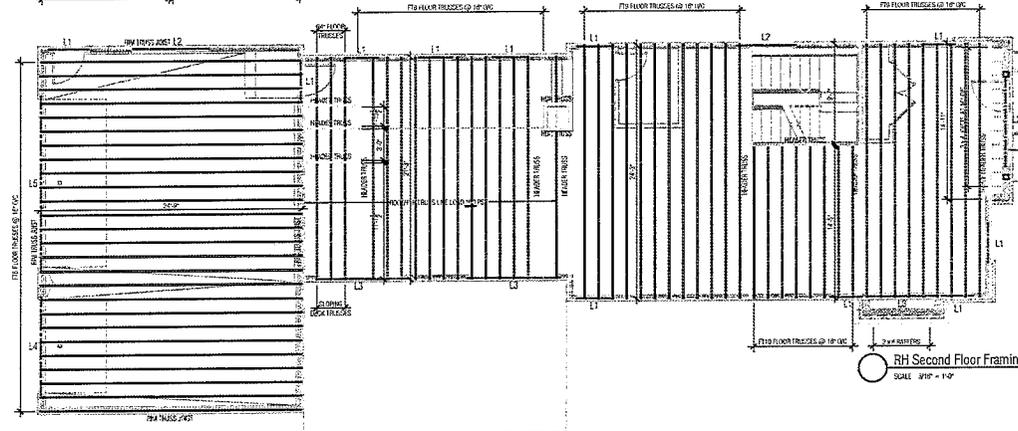
RH Ground Floor Framing Plan
 SCALE: 3/8" = 1'-0"



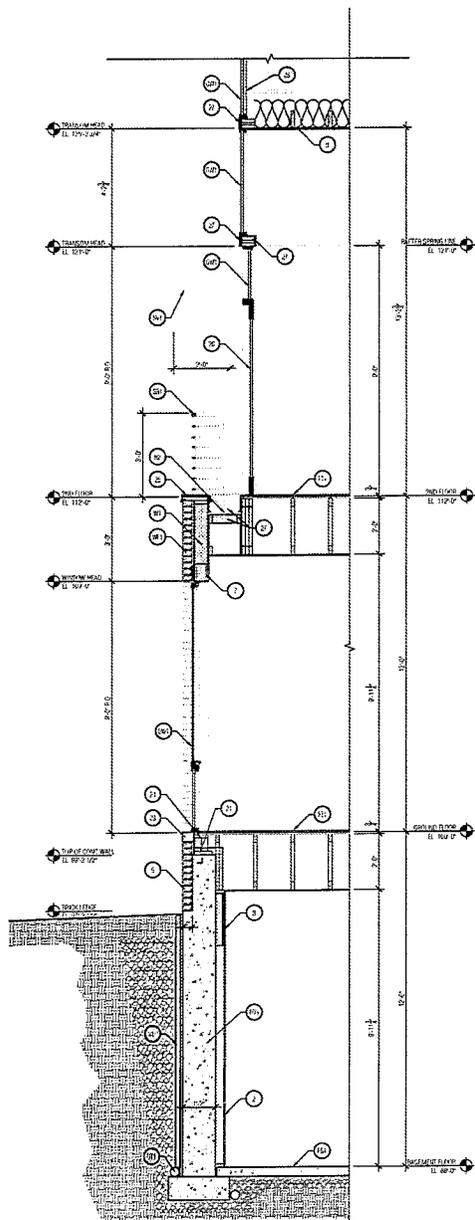
RH Roof Framing Plan
 SCALE: 3/8" = 1'-0"

MARK	TRUSS (S)	DESCRIPTION (BY/REVISION OR DATE)
L1	1	1 SEE 1' P2 X 11' P13 L1
L2	4.5	1 SEE 1' P2 X 11' P13 L1
L3	4.5	1 SEE 1' P2 X 11' P13 L1
L4	5	1 SEE 1' P2 X 11' P13 L1
L5	7.5	1 SEE 1' P2 X 11' P13 L1

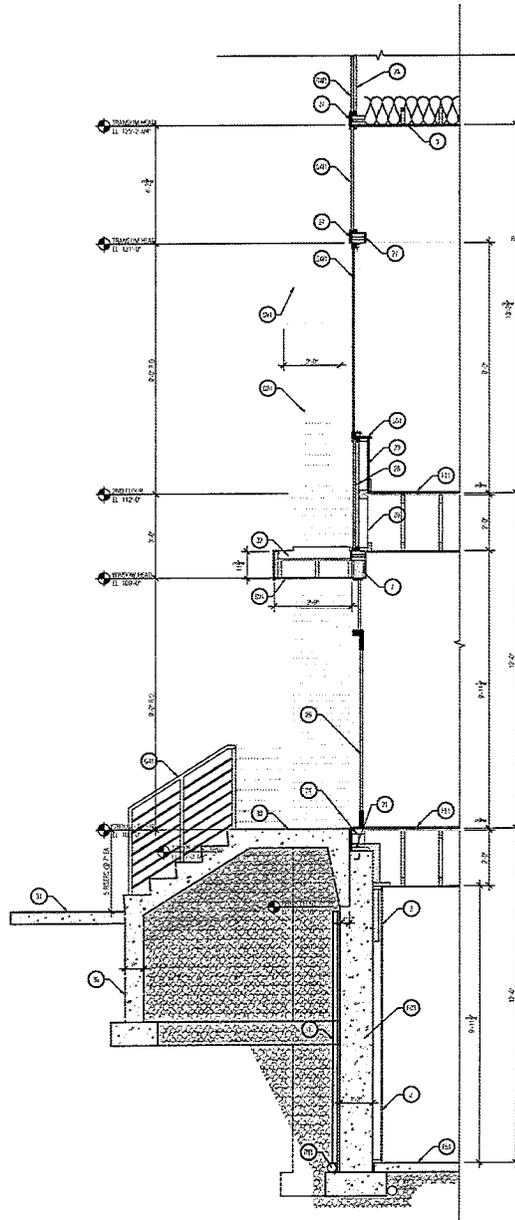
12' FLOOR PARTIAL JOIST TO BE RETROFITTED
 FROM 12' SPACING TO 18' SPACING. SEE 1' P2 X 11' P13 L1 FOR DETAILS.
 FLOOR TRUSS ONE LOAD IS PIP UNLESS NOTED OTHERWISE.
 R1-R13 TRUSS ONE LOAD IS PIP UNLESS NOTED OTHERWISE.



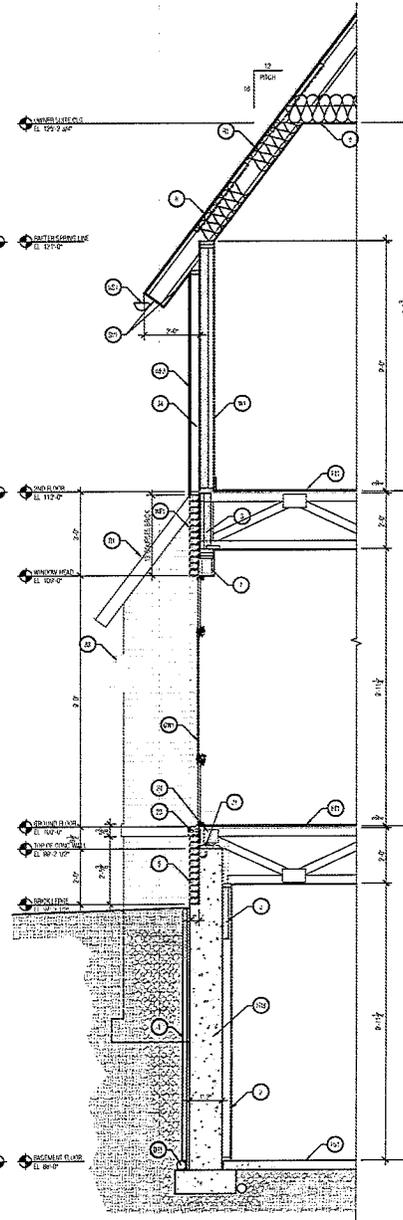
RH Second Floor Framing Plan
 SCALE: 3/8" = 1'-0"



16 Front Wall Section Left Bay
SCALE: 1/2" = 1'-0"



16 Entry Wall Section Left Bay
SCALE: 1/2" = 1'-0"



16 Bearing Wall Section Left Side Front
SCALE: 1/2" = 1'-0"

- SECTION KEYNOTES**
- 1 2" RIGID WOOD FIBER INSULATION ON GABLE END FROM FLOOR TO CEILING PROTECTION AGAINST FIRE AND SOUND TRANSMISSION ON ONE SIDE OF WALL
 - 2 2" BASEMENT FLOORING SYSTEM AS SHOWN ON P. 10
 - 3 1/2" CLOSED CELL SPRAY FOAM INSULATION IN PLUMB CAVITY PERimeter AND BASEMENT FLOORING 2' BELOW GRADE
 - 4 2" x 4" KNOCK OUT WOOD SILL FOR TRUSS BEARING W/ WPTA ANCHORS AT 48" OC
 - 5 BRICK ON 4" CONCRETE MORTAR AT PERIMETER BRICKS - FINISH ALL FLASHING CORING AND WEATHER AND BRICKS UP 3" OC TOP AND NOTIFIED WALL
 - 6 FRAMED IN PLACE GABLE END BRICKS
 - 7 1/2" CLOSED CELL INSULATED WOOD INSULATED WEATHER AS SHOWN SEE FRAMING PLANS
 - 8 CORRUGATED METAL PANELS
 - 9 1/2" x 4" ON WPTA BARRIERS ON CEILING JOIST (PER PERMISSIBLE BATT TRUSS SEE FRAMING PLANS)
 - 10 INTERLACE BRICK AND GLASS SLIDING PARTITION SYSTEM SEE WINDOW SCHEDULE
 - 11 1/2" x 4" METAL HANGERS WITH SPACER FIBERGLASS INSULATION TYPICAL
 - 12 FRAMED WOOD TRUSS BEAM SYSTEM SEE CEILING PLANS
 - 13 2" x 4" WPTA ENCLOSE TO BASEMENT FOR UTILITIES
 - 14 ALUMINUM CORNER BRACE TOP (SEE PERMISSIBLE SCHEDULES)
 - 15 WOOD GYPSUM BOARD MATCH WORK CAVITY FOR COATS OF GYPSUM BOARD
 - 16 2" x 4" WOOD JOIST JOISTS (SEE FRAMING PLANS)
 - 17 2" x 4" WOOD JOIST JOISTS (SEE FRAMING PLANS)
 - 18 2" x 4" WOOD JOIST JOISTS (SEE FRAMING PLANS)
 - 19 2" x 4" WOOD JOIST JOISTS (SEE FRAMING PLANS)
 - 20 2" x 4" WOOD JOIST JOISTS (SEE FRAMING PLANS)
 - 21 2" x 4" WOOD JOIST JOISTS (SEE FRAMING PLANS)
 - 22 2" x 4" WOOD JOIST JOISTS (SEE FRAMING PLANS)
 - 23 2" x 4" WOOD JOIST JOISTS (SEE FRAMING PLANS)
 - 24 2" x 4" WOOD JOIST JOISTS (SEE FRAMING PLANS)

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TEL: 414.224.7275

Project
WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
Location
WHITEFISH BAY, WI 53211

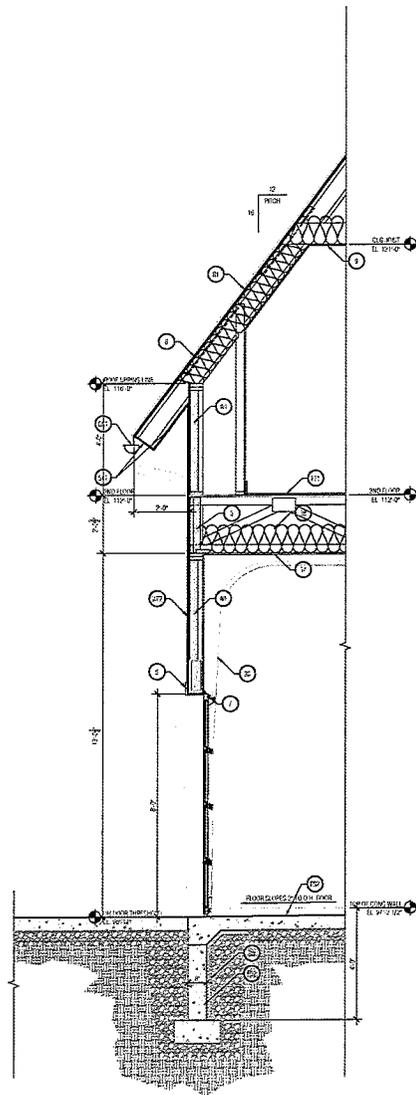
Sheet
WALL SECTIONS

Date
2020-08-18 CDS

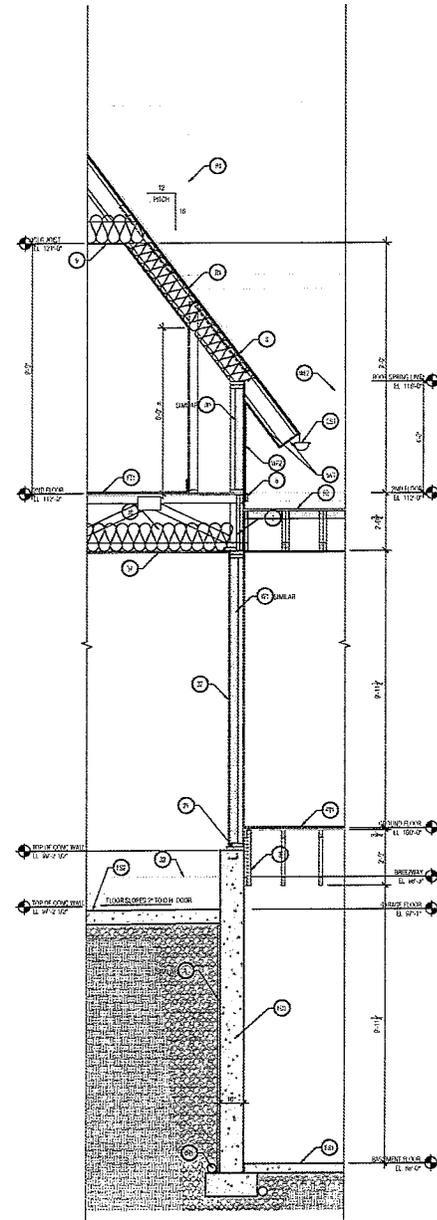
Project No.
0019-37

Sheet No.

A6.10



16 Garage Wall Section
SCALE 1/2" = 1'-0"



16 Garage-Family Room Section
SCALE 1/2" = 1'-0"

SECTION KEYNOTES	
1	2" RIGID EPS INSULATION ON CEILING IN PROTRUSIONS OR EQUAL PROTECTION TO EXPOSED INSULATION PROFILES ON ONE PLACE. GARAGE IS WALL.
2	3/4" BRASS STUDS WITH 1/2" BRASS BEARING W/ 1/2" BRASS STUDS AT 48" OC.
3	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
4	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
5	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
6	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
7	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
8	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
9	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
10	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
11	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
12	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
13	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
14	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
15	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
16	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
17	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
18	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
19	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
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22	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
23	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
24	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
25	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
26	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
27	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
28	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.

CONSTRUCTION SYSTEM KEYNOTES	
1	2" RIGID EPS INSULATION ON CEILING IN PROTRUSIONS OR EQUAL PROTECTION TO EXPOSED INSULATION PROFILES ON ONE PLACE. GARAGE IS WALL.
2	3/4" BRASS STUDS WITH 1/2" BRASS BEARING W/ 1/2" BRASS STUDS AT 48" OC.
3	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
4	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
5	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
6	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
7	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
8	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
9	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
10	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
11	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
12	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
13	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
14	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
15	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
16	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
17	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
18	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
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24	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
25	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
26	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
27	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.
28	1/2" RIGID EPS INSULATION IN TRUSS CAVITY WITH 1/2" BRASS STUDS AT 48" OC.

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Project: **WIRED DANBURY GLEN**

Location: **E GLEN AVE & N DANBURY RD**
WHITEFISH BAY, WI 53211

Sheet: **WALL SECTIONS**

Date: **2020-08-18 CDS**

Project No: **0019-37**

Sheet No: **A6.20**

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738 N Winter State 1228 | Milwaukee | WI 53202 | Gregg Prosser, Principal
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Project:
WIRED DANBURY GLEN

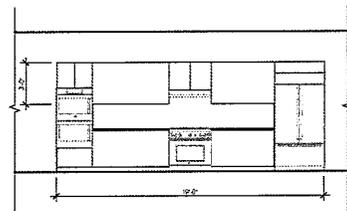
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E GLEN AVE & N DANBURY RD
WHITEFISH BAY, WI 53211

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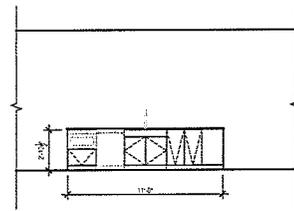
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2020-08-18 CDS

Project No.:
0019-37

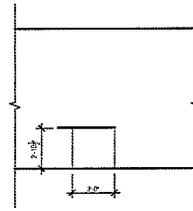
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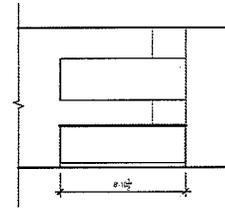
1 Kitchen Outside Wall Elevation
SCALE: 1/4" = 1'-0"



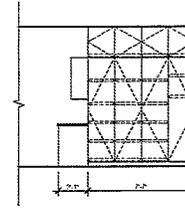
2 Kitchen Island Elevation
SCALE: 1/4" = 1'-0"



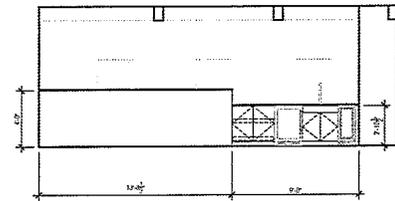
3 Kitchen Island Elevation
SCALE: 1/4" = 1'-0"



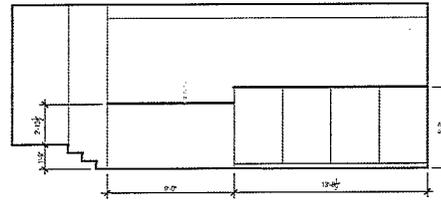
4 Kitchen Interior Wall Elevation
SCALE: 1/4" = 1'-0"



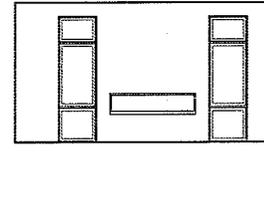
5 Kitchen Pantry Elevation
SCALE: 1/4" = 1'-0"



6 Family Room Bar Elevation
SCALE: 1/4" = 1'-0"

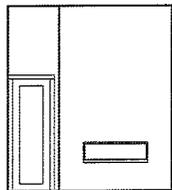


7 Breezeway Cubbie Elevation
SCALE: 1/4" = 1'-0"

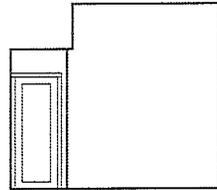


8 Living Room Gas FP Elevation
SCALE: 1/4" = 1'-0"

GENERAL NOTES:
 1. 1/2" X 1/2" X 1/2" TANK GREY WASHED H&T DUSTED HIGH PRESSURE LAMINATE HORIZONTAL GRAIN APPLICABLE
 2. 1/2" X 1/2" X 1/2" TANK GREY WASHED H&T DUSTED HIGH PRESSURE LAMINATE VERTICAL GRAIN APPLICABLE
 3. PROVIDE SINK AND APPLIANCE CUTOUTS PER SPECIFICATIONS
 4. COUNTER TOP FINISH TO BE QUARTZ
 5. BLUM SOFT CLOSE HEAVY DUTY DRAWERS/SLIDE HARDWARE, GRAY DRAWERS UNLESS OTHERWISE NOTED
 6. BLUM SOFT CLOSE HEAVY DUTY CORNERS FOR CORNERS
 7. 1/2" BUSHING METAL BUSHING FOR SINK AND APPLIANCE AT 2" ON 2" SINK CUTOUT
 8. CORNER CABINET FULL BACK FINISH
 9. CONFIRM WALL LAYOUT & DO SIZES IN DRAWING MATCH WITH 40" BLIND CURTAINS & DOOR CASE



11 Owner Suite Gas FP Elevation
SCALE: 1/4" = 1'-0"



12 Owner Suite Borrowed Light Elevation
SCALE: 1/4" = 1'-0"



13 Owner Suite Shower Enclosure Elevation
SCALE: 1/4" = 1'-0"

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Project:
WIRED DANBURY GLEN

E GLEN AVE & N DANBURY RD
 Location:
 WHITEFISH BAY, WI 53211

Sheet:
INTERIOR ELEVATIONS

Date:
 2020-08-18 CDS
 Project No:
 0019-37
 Sheet No:

A8.00